



Town of Trophy Club

1 Trophy Wood Drive
Trophy Club, Texas 76262

Meeting Agenda

Planning & Zoning Commission

Thursday, October 4, 2018

7:00 PM

Council Chambers

CALL TO ORDER AND ANNOUNCE A QUORUM

CITIZEN PRESENTATIONS

Citizens are allowed four (4) minutes to address the Commission regarding an item over which the Commission has policy or oversight authority as provided by Texas law, the ethics order, or other policy order.

REGULAR SESSION

1. [2018-469-T](#) Nomination and Election of Vice-Chairman.

2. [2018-470-T](#) Case PD-AMD-18-002 (BNHS Addition Ph. 2)

a. Conduct a Public Hearing regarding a request to amend Ordinance No. 2018-13 P&Z, Planned Development District No. 28, in order to provide a site plan package for a proposed building addition at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.

b. Discussion and recommendation regarding a request to amend Ordinance No. 2018-13 P&Z, Planned Development District No. 28, in order to provide a site plan package for a proposed building addition at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.

Attachments: [PZ Report 10.4.18.pdf](#)
 [Exhibit A - Legal Description.pdf](#)
 [Exhibit B - Zoning Exhibit.pdf](#)
 [Exhibit C - Existing Development Standards.pdf](#)
 [Exhibit D - Overall Site Plan.pdf](#)
 [Exhibit E - Site Plan Ph 2.pdf](#)
 [Exhibit F - Elevations \(Areas A & B\).pdf](#)
 [Exhibit G - Elevations \(Areas C & K\).pdf](#)
 [Exhibit H - Landscape Key Sheet.pdf](#)
 [Exhibit I - Tree Removal Plan.pdf](#)
 [Exhibit J - Entry Plaza Landscape Plan.pdf](#)
 [Exhibit K - Courtyard Landscape Plan.pdf](#)
 [Exhibit L - Building Addition Landscape Plan.pdf](#)
 [Exhibit M - Landscape Details.pdf](#)
 [Exhibit N - Exterior Electrical Plan.pdf](#)
 [Exhibit O - Photometric Plan.pdf](#)

3. [2018-472-T](#) Case O-AMD-17-004 (Artificial Turf)

a. Conduct a Public Hearing regarding a Town-initiated request to amend Landscaping Regulations in Section 14.02.352(d)(5) and Section 14.02.352(g)(5) of the Trophy Club Code of Ordinances to allow artificial turf on residentially zoned properties.

b. Discussion and recommendation regarding a Town-initiated request to amend Landscaping Regulations in Section 14.02.352(d)(5) and Section 14.02.352(g)(5) of the Trophy Club Code of Ordinances to allow artificial turf on residentially zoned properties.

Attachments: [PZ Report 10.4.18.pdf](#)
 [Exhibit A - Surveyed Cities.pdf](#)
 [Exhibit B - Pros and Cons of Artificial Turf vs. Living Matter.pdf](#)
 [Exhibit C - General Sub-Base Construction.pdf](#)

4. [2018-475-T](#) Review and approve the minutes of the September 6, 2018 Planning & Zoning Commission meeting.
Attachments: [PZ Minutes 09.6.18 DRAFT.docx](#)
5. [2018-476-T](#) Town Planner Updates; update on previous cases heard by the Commission; Discussion on current Town development issues and development codes.

ADJOURN

***THE COMMISSION MAY CONVENE INTO EXECUTIVE SESSION TO DISCUSS POSTED ITEMS AS ALLOWED BY THE TEXAS OPEN MEETINGS ACT, TEXAS LOCAL GOVERNMENT CODE 551.071.**

Notice is hereby given that a quorum of the Town Council may be in attendance at this meeting.

CERTIFICATION

I certify that the above notice was posted on the bulletin board at Trophy Club Town Hall, 1 Trophy Wood Drive, Trophy Club, Texas, on Friday, September 28, 2018 by 5:00 P.M. in accordance with Chapter 551, Texas Government Code.

**Julie Smestad
Administrative Specialist**

If you plan to attend this public meeting and have a disability that requires special needs, please contact the Town Secretary's Office at 682-237-2900, 48 hours in advance and reasonable accommodations will be made to assist you.

I certify that the attached notice and agenda of items to be considered by this Board was removed by me from the bulletin board at Trophy Club Town Hall, 1 Trophy Wood Drive, Trophy Club, Texas, on the _____ day of _____, 2018.

_____, Title: _____

Legislation Details (With Text)

File #: 2018-469-T **Version:** 1 **Name:**
Type: Agenda Item **Status:** Regular Session
File created: 9/26/2018 **In control:** Planning & Zoning Commission
On agenda: 10/4/2018 **Final action:**
Title: Nomination and Election of Vice-Chairman.
Attachments:

Date	Ver.	Action By	Action	Result
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Nomination and Election of Vice-Chairman.

Legislation Details (With Text)

File #:	2018-470-T	Version:	1	Name:	
Type:	Agenda Item	Status:		Regular Session	
File created:	9/26/2018	In control:		Planning & Zoning Commission	
On agenda:	10/4/2018	Final action:			
Title:	<p>Case PD-AMD-18-002 (BNHS Addition Ph. 2)</p> <p>a. Conduct a Public Hearing regarding a request to amend Ordinance No. 2018-13 P&Z, Planned Development District No. 28, in order to provide a site plan package for a proposed building addition at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.</p> <p>b. Discussion and recommendation regarding a request to amend Ordinance No. 2018-13 P&Z, Planned Development District No. 28, in order to provide a site plan package for a proposed building addition at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.</p>				
Attachments:	<p>PZ Report 10.4.18.pdf</p> <p>Exhibit A - Legal Description.pdf</p> <p>Exhibit B - Zoning Exhibit.pdf</p> <p>Exhibit C - Existing Development Standards.pdf</p> <p>Exhibit D - Overall Site Plan.pdf</p> <p>Exhibit E - Site Plan Ph 2.pdf</p> <p>Exhibit F - Elevations (Areas A & B).pdf</p> <p>Exhibit G - Elevations (Areas C & K).pdf</p> <p>Exhibit H - Landscape Key Sheet.pdf</p> <p>Exhibit I - Tree Removal Plan.pdf</p> <p>Exhibit J - Entry Plaza Landscape Plan.pdf</p> <p>Exhibit K - Courtyard Landscape Plan.pdf</p> <p>Exhibit L - Building Addition Landscape Plan.pdf</p> <p>Exhibit M - Landscape Details.pdf</p> <p>Exhibit N - Exterior Electrical Plan.pdf</p> <p>Exhibit O - Photometric Plan.pdf</p>				

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Case PD-AMD-18-002 (BNHS Addition Ph. 2)

a. Conduct a Public Hearing regarding a request to amend Ordinance No. 2018-13 P&Z, Planned Development District No. 28, in order to provide a site plan package for a proposed building addition at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.

b. Discussion and recommendation regarding a request to amend Ordinance No. 2018-13 P&Z, Planned Development District No. 28, in order to provide a site plan package for a proposed building addition at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within

Trophy Club's town limits.



1 Trophy Wood Drive, Trophy Club, TX 76262 | 682.237.2900 | info@trophyclub.org | trophyclub.org

To: Planning & Zoning Commission

From: Lisa Payne, Town Planner

CC: Thomas M. Class Sr., Town Manager
Holly Fimbres, Town Secretary/RMO

Re: Case PD-AMD-18-002
Planning & Zoning Commission Meeting, October 4, 2018

Agenda Item:

Case PD-AMD-18-002 (BNHS Addition Ph 2)

- a. Conduct a Public Hearing regarding a request to amend Ordinance No. 2018-13 P&Z, Planned Development District No. 28, in order to provide a site plan package for a proposed building addition at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.
- b. Discussion and recommendation regarding a request to amend Ordinance No. 2018-13 P&Z, Planned Development District No. 28, in order to provide a site plan package for a proposed building addition at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.

Background and Explanation:

Per Section B(5) of PD-28's Development Standards, a site plan package requires approval by Town Council, upon recommendation of the Planning & Zoning Commission, through an amendment to the Planned Development. PD-28 was created by Ordinance No. 2007-11 P&Z, which was amended by Ordinance No. 2007-22 P&Z to adopt a site plan package for Byron Nelson High School (BNHS), which was amended this year by Ordinance No. 2018-13 P&Z to adopt a site plan package for the school's field house. Northwest Independent School District (NISD) and RLK Engineering are requesting to amend the ordinance to provide a site plan package for a proposed building addition and entry plaza.

The three-story building addition will contain 88,592 square feet and be primarily located on the eastern end of the high school (Exhibit E). The existing cul-de-sac will be replaced with a courtyard and the connected parking lot will be reconfigured to allow for the main portion of the building addition. A few small additions are also being added on the east side of the school, as well as minor building infill on the north side. A new brick dumpster enclosure is included to account for the new building area.

The entry plaza is proposed to be a wide pedestrian walkway between the football stadium and the main entrance of the high school. Some parking spaces will be lost with this design, but even with the proposed additions, the property continues to meet the parking requirement and remains over-parked. In addition, new driveways are planned for either side of the entry plaza, which will provide connection into the parking lot from the existing fire lanes.

Tree mitigation is not required for this project because the Town's Code of Ordinances exempts local taxing authorities, such as Northwest ISD, from the requirements of tree protection and removal. The trees to be removed have been chosen due to being located in a geothermal well field or in the path of construction.

The proposal meets the landscape requirements (Exhibit H) by lining the entry plaza and filling the open space north of the football stadium with trees. Canopy and ornamental trees will be installed throughout the courtyard, around the building addition, and along the new parking spaces to the east.

The building addition very nearly meets the masonry requirement of 100% brick, stone, or stucco with only some accent areas of CMU burnished block, glazed terra cotta, and metal panels. The entrance of the high school's café, the Byron Bistro, is highlighted by Bobcat Blue terra cotta on the walls. To help you familiarize with the locations of the different elevations provided on Exhibits F & G, the site plan (Exhibit E) includes arrows with each elevation's assigned number and sheet number.

An exterior lighting plan is included that indicates the fixtures will be the same or similar to the existing fixtures on the property. Light pollution shouldn't be an issue, as the photometric plan displays one (1) footcandle or less across the subject areas.

No revisions to PD-28's Development Standards are proposed.

Financial Considerations:

Not applicable.

Legal Review:

To be reviewed by Town Attorney.

Staff Recommendation:

Staff recommends approval of the site plan package as an amendment to PD Planned Development District No. 28.

Attachments:

- Exhibit A – Legal Description
- Exhibit B – Zoning Exhibit
- Exhibit C – Existing Development Standards
- Exhibit D – Overall Site Plan
- Exhibit E – Site Plan Ph 2
- Exhibit F – Elevations (Areas A & B)
- Exhibit G – Elevations (Areas C & K)
- Exhibit H – Landscape Key Sheet
- Exhibit I – Tree Removal Plan
- Exhibit J – Entry Plaza Landscape Plan
- Exhibit K – Courtyard Landscape Plan
- Exhibit L – Building Addition Landscape Plan
- Exhibit M – Landscape Details
- Exhibit N – Exterior Electrical Plan
- Exhibit O – Photometric Plan

**EXHIBIT “A”
LEGAL DESCRIPTION**

EXHIBIT "A"

LEGAL DESCRIPTION

Being 92.655 acres of land located in the T. Calaway Survey, Abstract No. 272, the T. Kelly Survey, Abstract No. 704, and the J. Henry Survey, Abstract No. 529, Denton County, Texas, being the tract of land described in the deeds to Northwest Independent School District (Northwest Independent School District "NWISD"), recorded in Instrument Nos. 2004-52882, 2005-56133, and 2005-56134, Deed Records, Denton County, Texas. Said 92.655 acres of land being more particularly described as follows:

BEGINNING at a 1/2" iron rod stamped "McCullah" found at the most Westerly Northwest corner of said NWISD tract recorded in Instrument No. 2004-52882, being the Northeast corner of Lot 22, Block L, Green Acre Estates, 2nd Section, an addition to Denton County, Texas, according to the plat recorded in Volume B, Page 250, Plat Records, Denton County, Texas;

THENCE N89°32'20"E, along the most Westerly North line of said NWISD tract recorded in Instrument No. 2004-52882 a distance of 363.50 feet to a 60d nail found at the Northwest corner of the Save and Except Tract 1 as described in the deed to NWISD in said Instrument No. 2004-52882;

THENCE S00°27'22"E, along the West line of said Save and Except Tract 1, at a distance of 255.57 feet passing the Southwest corner of said Save and Except Tract 1, also being the most Westerly Northwest corner of a tract of land described in the deed to C Oil Investments, LTD. recorded in Instrument No. 2005-56135, Deed Records, Denton County, Texas, in all a total distance of 295.57 feet to a 1/2" iron rod stamped "Beasley RPLS 4050" set at the Southwest corner of said C Oil Investments, LTD tract;

THENCE along the South, East, and North lines of said C Oil Investments, LTD tract the following courses and distances:

1. N89°33'02"E, a distance of 410.61 feet to a 1/2" iron rod stamped "Beasley RPLS 4050" set;
2. N00°26'58"W, a distance of 295.62 feet to a 1/2" iron rod stamped "Beasley RPLS 4050" set;
3. S89°33'06"W, a distance of 155.00 feet to a 3/8" iron pipe found at the Northwest corner of said C Oil Investments tract, the Northeast corner of said Save and Except Tract I, and the Southeast corner of a tract of land described in the deed to Hunter Ferrell Properties, Inc recorded in Instrument No. 94-75154, Deed Records, Denton County, Texas;

THENCE N00°15'37"W, along the most Northerly West line of said NWISD tract described in Instrument No. 2004-52882, a distance of 157.16 feet to a 1/2" iron rod set at

the Southwest corner of a tract of land described in the deed to C Oil Investments, LTD. recorded in Instrument No. 2003-205035, Deed Records, Denton County, Texas;

THENCE along the South, East, and North line of said C Oil Investments, LTD. tract described in Instrument No. 2003-205035 the following courses and distances:

1. N65°51'14"E, a distance of 293.82 feet to a 60d nail found;
2. N43°22'38"E, a distance of 110.89 feet to a 60d nail found;
3. N45°01'33"W, a distance of 298.00 feet to a 60d nail found;
4. S89°29'25"W, a distance of 135.33 feet to a 60d nail found in the most Northerly West line of said NWISD tract described in Instrument No. 2004-52882;

THENCE N00°15'37"W, along the most Northerly West line of said NWISD tract described in Instrument No. 2004-52882, at a distance of 192.98 feet passing a point from which a 5/8" iron rod stamped "Carter & Burgess" bears S89°44'23"W a distance of 0.97 feet for the Northeast corner of said Hunter Ferrell Properties, Inc tract and the Southeast corner of a tract of land described in the deed to Star of Texas Energy Services, Inc recorded in Instrument No. 2004-148911, Deed Records, Denton County, Texas, in all 347.21' to a U.S. Army Corps of Engineers (Corps of Engineers "COE") Monument No. 540-1 found at the most Northerly Northwest corner of said NWISD tract described in Instrument No. 2004-52882;

THENCE along the North and East lines of said NWISD tract described in Instrument No. 2004-52882 the following courses and distances:

1. S42°22'19"E, a distance of 408.77 feet to a COE Monument No. 540-2 found;
2. S44°17'30"E, a distance of 777.59 feet to a COE Monument No. 540-3 found;
3. S58°06'38"W, a distance of 253.93 feet to a COE Monument No. 540-4 found;
4. S61°23'43"E, a distance of 642.65 feet to a 1/2" iron rod stamped "McCullah" found;
5. S50°12'33"E, a distance of 496.53 feet to a COE Monument No. 540-6 found;
6. S15°14'49"W, a distance of 150.59 feet to a COE Monument No. 540-7 found;
7. S27°03'58"W, a distance of 402.08 feet to a COE Monument No. 540-8 found;
8. N87°09'06"W, a distance of 157.55 feet to a 1/2" iron rod stamped "Beasley RPLS 4050" set;

9. S77°19'34"W, a distance of 102.76 feet to a 1/2" iron rod stamped "McCullah" found;
10. S41°39'04"W, a distance of 91.39 feet to a 1/2" iron rod stamped "McCullah" found;
11. S36°17'12"W, a distance of 52.32 feet to a 1/2" iron rod stamped "McCullah" found;
12. S40°50'39"W, a distance of 95.59 feet to a 1/2" iron rod stamped "McCullah" found;
13. S08°39'42"W, a distance of 429.68 feet to a 1/2" iron rod stamped "McCullah" found;
14. S04°12'41"W, a distance of 306.41 feet to a 1/2" iron rod stamped "McCullah" found;
15. S13°00'52"W, a distance of 96.30 feet to a 1/2" iron rod stamped "McCullah" found;
16. S19°36'46"W, a distance of 103.70 feet to a 1/2" iron rod stamped "McCullah" found;
17. S10°23'52"W, a distance of 125.46 feet to a pk set in Marshall Creek Road for the Southeast corner of said NWISD tract described in Instrument No. 2004-52882;

THENCE with the South line of said NWISD tract described in Instrument No. 2004-52882 and along a line in Marshall Creek Road the following courses and distances:

1. Westerly, 138.46 feet along a non tangent curve to the left, having a radius of 1,031.76 feet, a central angle of 07°41'21" and a chord bearing N73°38'58"W, 138.36 feet to a pk set;
2. N77°29'39"W, a distance of 909.47 feet to a pk set at the beginning of a non tangent curve;
3. Westerly, 350.07 feet along a non tangent curve to the left, having a radius of 2,020.05 feet, a central angle of 09°55'45" and a chord bearing N85°28'47"W, 349.63 feet to an X found for the Southwest corner of said NWISD tract described in Instrument No. 2004-52882;

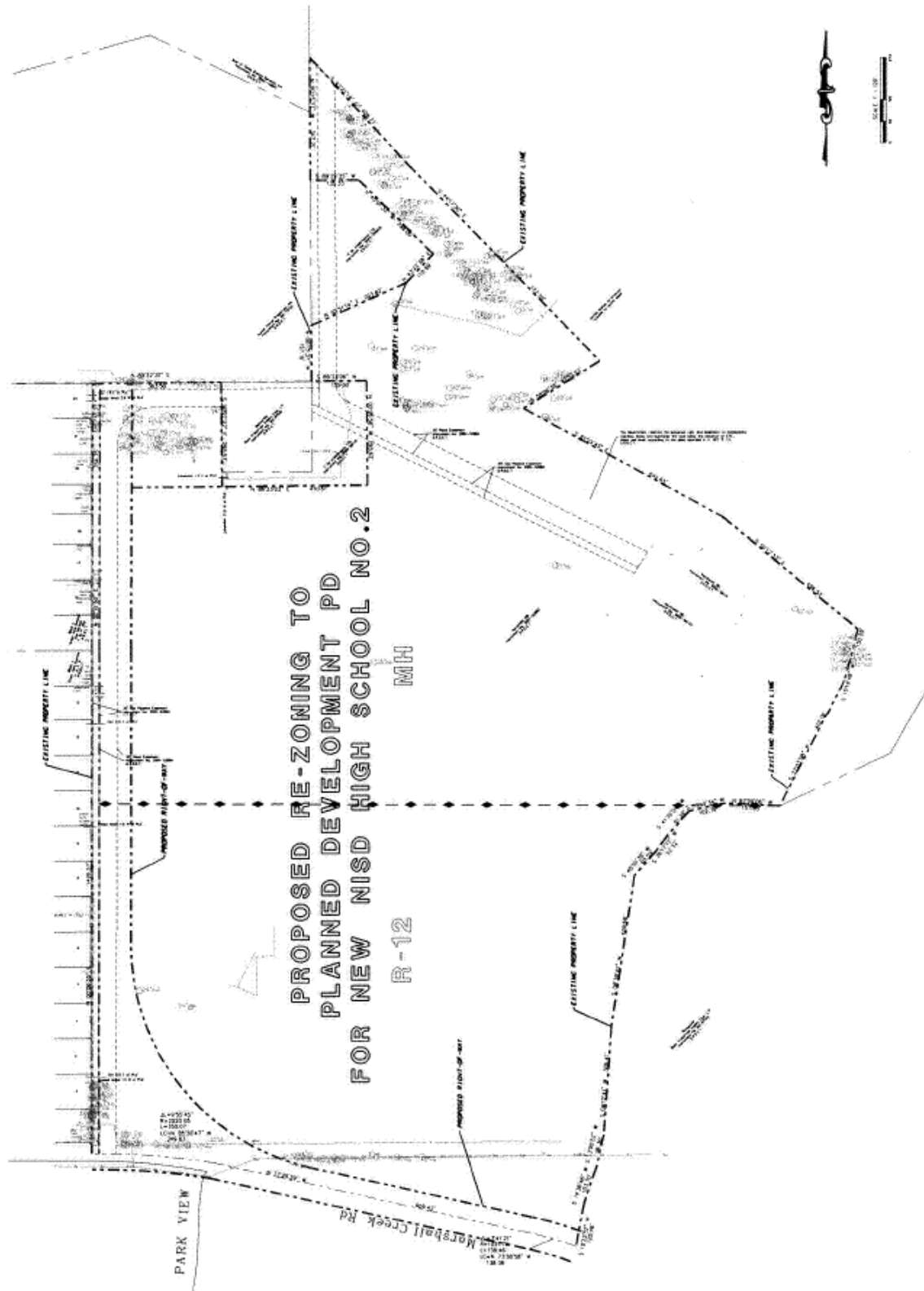
THENCE N00°06'55"E, along the most Westerly West line of said NWISD tract described in Instrument No. 2004-52882, at a distance of 31.69 feet passing a 3/8" iron rod found at the Southeast corner of Lot 1, Block L, Green Acre Estates, an Addition to Denton County, Texas, according to the plat recorded in Volume 6, Page 6, Plat Records,

Denton County, Texas, in all a distance of 1,426.57 feet to a 3/8" iron rod found at the Northeast corner of Lot 14, Block L, of said Green Acre Estates, also being the Southeast corner of Lot 15, Block L, of said Green Acre Estates, 2nd Section;

THENCE N00°15'50"E, along the East line of said Green Acre Estates, 2nd Section, a distance of 754.75 feet to the point of beginning, containing 92.655 acres of land.

The bearings recited hereon are oriented to NAD 83, Texas North Central Zone.

**EXHIBIT “B”
ZONING EXHIBIT**



**EXHIBIT “C”
DEVELOPMENT STANDARDS**

DEVELOPMENT STANDARDS NISD HIGH SCHOOL NO. 2 TROPHY CLUB, TEXAS

The development of the Land described in Exhibit “A” – Legal Description (a copy of which is attached hereto and incorporated herein) (hereinafter “Tract 1”) consisting of approximately 92.655 acres of land shall be in accordance with Exhibit “B” – Zoning Exhibit of the development (a copy of which is attached hereto and incorporated herein), all other Exhibits attached to or incorporated herein, the Zoning Code, all other applicable codes and regulations of the Town of Trophy Club, and the following Development Standards, conditions and requirements:

A. Purpose: This Planned Development is designed to accommodate a high school and other appurtenant uses as applicable with a high school site. For development purposes, the land is one contiguous tract. The use and development of the tract shall be in accordance with the Code of Ordinances of the Town, Section 14.02.164 NS – Neighborhood Service District Regulations with the following exceptions:

1. Size of Tract:

Tract 1 shall contain approximately 92.655 acres of land

2. Uses Generally: In the development and use of Tract 1, no land shall be used and no building or structure shall be installed, erected, or converted to any use other than the following Permitted Uses:

3. Permitted Uses:

(a) Tract 1 shall allow all uses indicated in the following Use List.

Athletic Fields, Stadium, Auditorium, Gyms	Bldg for auxiliary uses on HS site
Children’s Day Care Center & Kindergarten	Equestrian facilities
Park, Playground, Play lots, Related Facilities	Private Stable
Public Safety Facilities	Recreational
School	Social, Recreational, Assembly Buildings
Storage (auxiliary uses for HS site)	Swimming Pool
Tennis, Handball, Racquet Ball Clubs	Utility Facilities, Garage, Storage

4. Limitation of Uses: Except as provided below, any use not expressly permitted herein or allowed by temporary, conditional or specific use permit is prohibited:

(a) Sporting Events and any applicable appurtenances shall be granted as a permanent use.

(b) Educational or informational displays.

- (c) A temporary use as defined in the Zoning Code shall not be permitted or located nearer than one-hundred feet (100') to a residentially zoned district.
- (d) An accessory use as defined in the Zoning Code shall not be located within any identified easement. In addition, accessory structures permitted in these districts shall not exceed one story in height, except for storage/ utility structures which shall not exceed fifteen feet (15') in height. Utility structures may include lift stations and other operational utility structures required for full functionality of a high school.

5. Area Building and Site Regulations:

The building and site regulations will generally follow Chapter 14 of the Code of Ordinances of the Town, Section 14.02.164 NS – Neighborhood Service District Regulations, with the exception of those items listed below:

- (a) Building Height: No building or structure shall exceed eighty-five feet (85') or three (3) stories in height.
- (b) Lighting: Prior to the issuance of a building permit for the Land or any part thereof, an overall lighting plan, accompanying the Final Site Plan for the Land must be approved by the Town Council upon recommendation of the Planning & Zoning Commission. Additionally, written standards shall be approved by the Town Council upon recommendation of the Planning & Zoning Commission at a later date, in the form of an amendment to this Ordinance.
- (c) Fencing: Chain link fencing may be used for athletic fields only as long as it has 100% vinyl coverage. Black vinyl is an acceptable color. All other colors shall be approved by the Town Council upon recommendation of the Planning & Zoning Commission. Additional fencing shall meet the requirements of Chapter 14, Section 14.02.351 of the Town's Code of Ordinances.
- (d) Outdoor Storage: No outdoor storage, except for refuse disposal, shall be permitted on the land. Dumpster locations shall be subject to the prior approval of the Planning & Zoning Commission, as indicated on the Final Site Plan. Dumpsters are to be enclosed on all sides with three (3) masonry walls and one (1) gate of a similar architectural style of buildings. Minimum height of the enclosures shall be determined by the height of the dumpster.

When possible, landscaping shall provide additional screening for the enclosure. Operating hours for trash service shall be in accordance with the Town of Trophy Club standards.

- (e) Signage: Illuminated LED and Non-Illuminated permanent marquee and monument signage will be allowed at drive approaches, intersections and the front of the building. Prior to the issuance of a building permit for the Land or any part thereof, an overall sign plan, accompanying the Final Site Plan for the Land must be approved by the Town Council upon recommendation of the Planning & Zoning Commission. Additionally, written standards shall be approved by the Town Council upon recommendation of the Planning & Zoning Commission at a later date, in the form of an amendment to this Ordinance.
- (f) Hours of Operation: The hours of operation shall be between 7:00am and 11:00pm for the standard calendar school year and shall be between 7:00am and 6:00pm for the summer session.
- (g) Mechanical & Electrical Equipment: Mechanical and electrical equipment, including air conditioning units, shall be designed and operated to minimize noise impact on surrounding property. All such Equipment shall be screened from public view. Equipment screening shall not be considered as a part of building height.

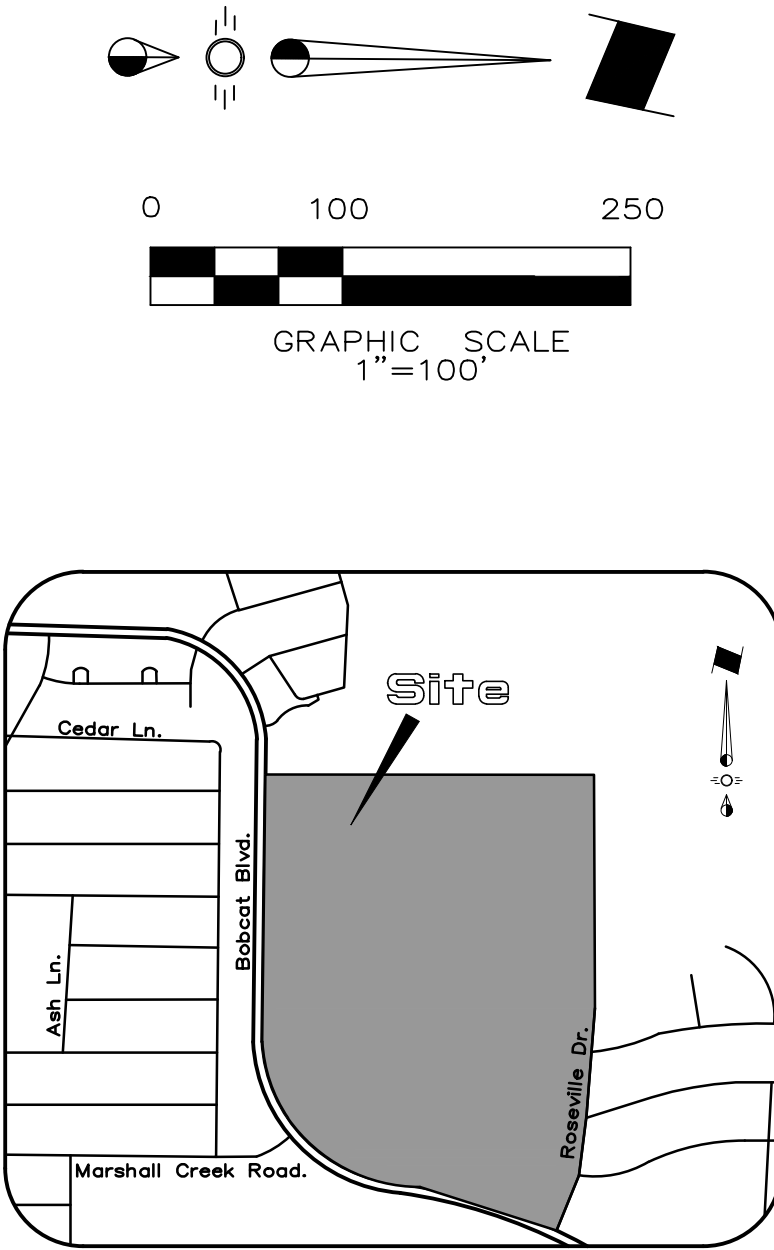
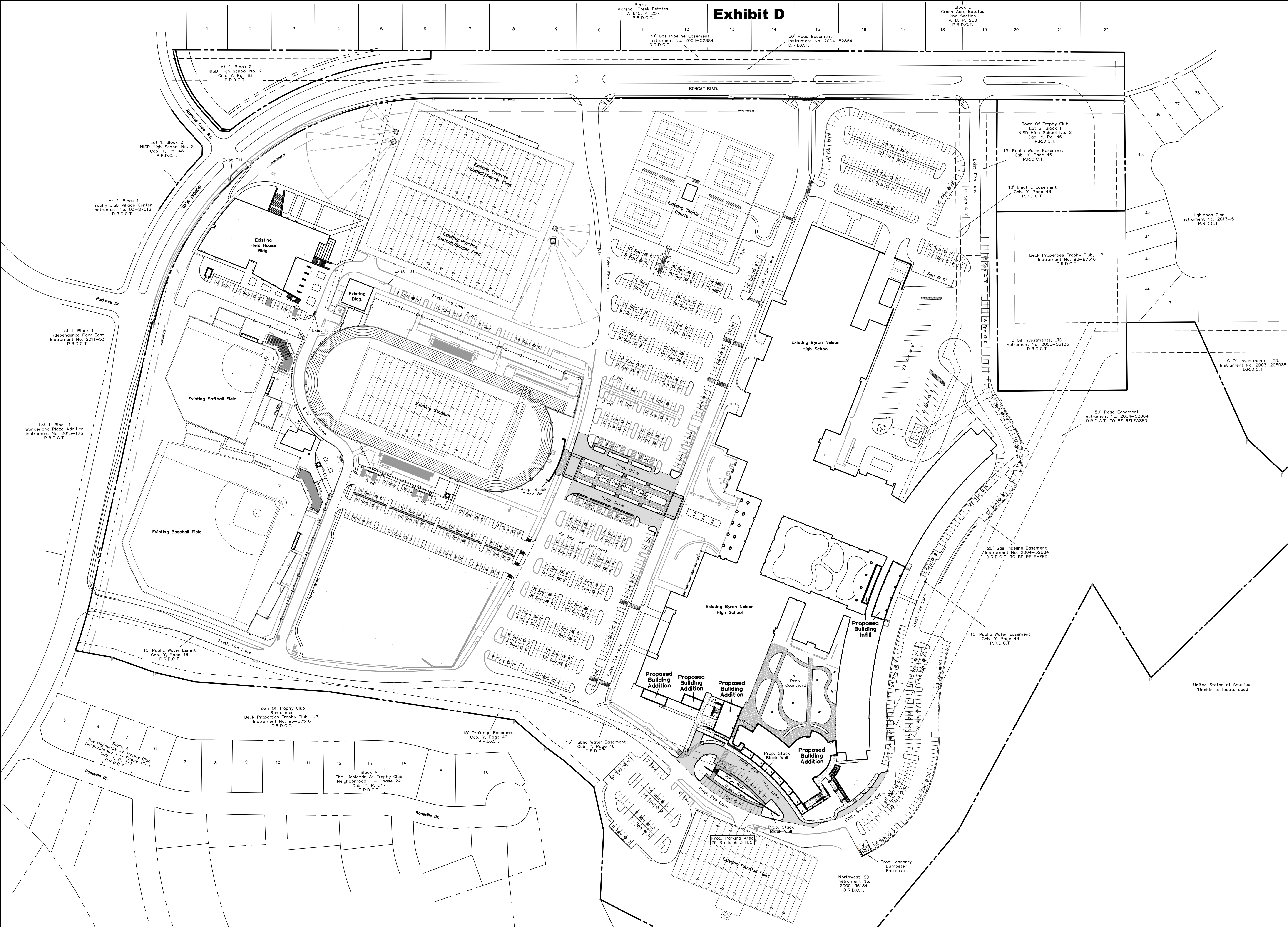
B. Additional Development Standards:

- 1. Landscaping: Landscaping shall be provided as required by applicable codes, including but not limited to the Zoning Code as amended, and Chapter 14, Section 14.02.352 Landscaping Regulations, and the Subdivision Regulations, Chapter 10, except as specifically provided herein below:
 - (a) Interior areas of parking lots shall contain planter islands or berms located so as to best relieve the expanse of paving. Planter islands or berms must be located no further apart than every twenty-four (24) parking spaces and at the terminus of all rows of parking. Such islands or berms shall contain at least one (1) tree. Each tree shall be a minimum of four (4) caliper inches as measured twelve inches (12") above final grade adjacent to the trunk of the tree. The remainder shall be landscaped with shrubs, lawn and ground. Shrubs shall be a minimum of three feet (3') in height when measured immediately after planting, and shall reach three feet (3') in height within one year of planting. Interior planter islands shall have a minimum size of nine feet (9') by eighteen feet (18').

- (i) Perimeter landscape areas shall contain at least one tree for each fifty (50) linear feet or fraction thereof of perimeter area. Shrubs shall meet the requirements of (B)(1)(a) above. Trees shall be planted in non-vehicular open space to meet the following requirements. Existing trees that are preserved on a developed site may be credited to the following requirements:
Percentage of Site in Non-Vehicular Open spaces: 0-100%
Tree Ratio per Non-Vehicular Open Space: 9 trees/ 4,000 sq. ft.
2. Fire Lanes: Fire lanes will be shown on the Final Site Plan. Location and details shall be provided at the time of the Final Site Plan submittal and shall be approved by the Fire Department.
3. Final Site Plan: The Final Site Plan shall be submitted to the Planning & Zoning Commission and Town Council for approval. Such approval shall be in the form of an ordinance duly adopted by the Town Council, upon recommendation from the Planning & Zoning Commission.

Upon approval, the Final Site Plan shall become an amendment to this Ordinance. In the event of any conflicts between this Ordinance and such approved Final Site Plan, the Ordinance adopting the Approved Final Site Plan shall control.
4. Amendments to the Site Plan: Amendments to the Site Plan for items that are not determined to be substantial by the Planning & Zoning Coordinator shall be permitted. The Planning & Zoning Coordinator shall determine items to be classified as not substantial.
5. Notwithstanding any contrary provision in the Ordinance or any exhibits hereto, the final approvals listed below must be obtained from the Town prior to the issuance of any building permits. Such approvals must be made by an Ordinance amending this Ordinance creating PD-Planned Development No. 28:
 - (a) Final Site Plan approval, including but not limited to Landscape Plan and Plant List
 - (b) Building Elevations
 - (c) Sight Line Studies
 - (d) Photometric Plan and Light Fixture Illustrations
 - (e) Signage

(f) Retaining Wall and Fencing



SITE SUMMARY

Zoning.....	PD-28
Lot Area.....	82.863 Acres
PD Area.....	92.655 Acres
Existing Building Area (Main Bldg. & Field House):	
First Floor.....	345,259 Sq. Ft.
Second Floor.....	137,217 Sq. Ft.
Third Floor.....	62,231 Sq. Ft.
Total.....	544,707 Sq. Ft.
Proposed Building Area:	
First Floor.....	31,213 Sq. Ft.
Second Floor.....	31,375 Sq. Ft.
Third Floor.....	26,004 Sq. Ft.
Total.....	88,592 Sq. Ft.
Floor Area Ratio (F.A.R.)	
Ground Floor.....	376,472 Sq. Ft. = 0:1
Second Floor.....	168,592 Sq. Ft. = 0:4
Third Floor.....	88,235 Sq. Ft. = 0:2
Proposed Building FAR =	0:1
LOT COVERAGE	
Existing Building =	10%
Proposed Building =	1%
Building Height	
3-Stories New Addition)	
Total Pre-Development	
Parking Provided.....	1,610 Spaces
Total Post-Development	
Parking Provided (Phase 2).....	1,497 Spaces
Total Parking Required.....	
(1stall/3students) (3200 students)	
HC Parking Required.....	27 Spaces
HC Parking Provided	39 Spaces

LEGEND

- Proposed Pavement
- Proposed Sidewalk

MISC. INFORMATION	REVISION	DATE	DESCRIPTION
NOTE: Prior to beginning any construction or construction staking, it shall be the Contractor's responsibility to contact the civil engineer to insure that all parties are in possession of the most current set of construction documents.			

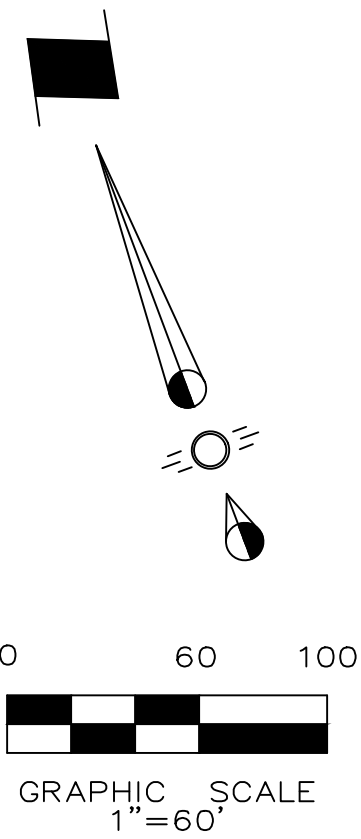
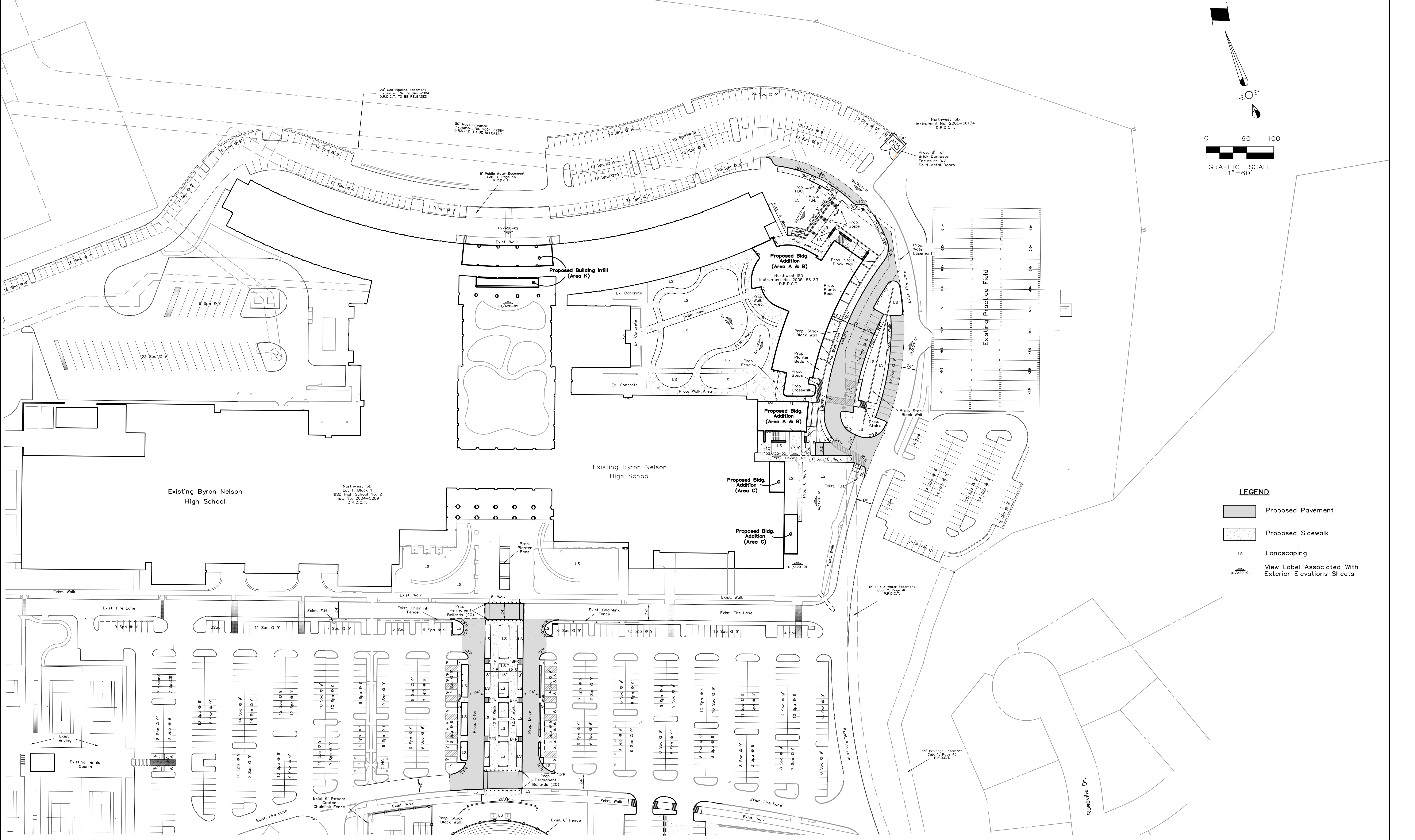


RLK ENGINEERING, INC.
111 West Main
Allen, Texas 75013
(972) 359-1733 Off
(972) 359-1833 Fax
Texas Registration No. 579

SITE PLAN - OVERALL PROPERTY
BYRON NELSON HIGH SCHOOL ADDITIONS - PHASE 2
BOBCAT BLVD
TROPHY CLUB, TEXAS

DESIGNED BY: RLK Engineering	TECH REVIEW: RLK	DRAWING FILE: 17124 (PHASE 2) Site Plan.dwg	DRAWING SCALE: 1" = 30'	SHEET: C00-01
DRAWN BY: RLK Engineering	PEER REVIEW: RLK	DRAWING DATE: 9-18-18	PROJECT NUMBER: RLK 17124	

Exhibit E



LEGEND

- Proposed Pavement
- Proposed Sidewalk
- Landscaping
- View Label Associated With Exterior Elevations Sheets

MISC. INFORMATION

NOTE:
Prior to beginning any construction or construction staking, it shall be the Contractor's responsibility to contact the civil engineer to insure that all parties are in possession of the most current set of construction documents.

REVISION	DATE	DESCRIPTION





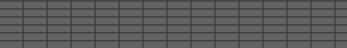
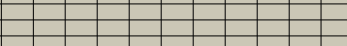


RLK ENGINEERING, INC.
111 West Main
Allen, Texas 75013
(972) 359-1733 Off
(972) 359-1833 Fax
Texas Registration No. 579

SITE PLAN - PHASE 2 ADDITIONS
BYRON NELSON HIGH SCHOOL ADDITIONS - PHASE 2
BOBCAT BLVD
TROPHY CLUB, TEXAS

DESIGNED BY: RLK Engineering	TECH REVIEW: RLK	DRAWING FILE: 17124 (PHASE 2) Site Plan-Detailed.dwg - 30'	DRAWING SCALE: PROJECT NUMBER: RLK: 17124	SHEET: C00-02
DRAWN BY: RLK Engineering	PEER REVIEW: RLK	DRAWING DATE: 9-18-18		

Exhibit F

BUILDING ELEVATION MATERIAL SUMMARY

MATERIAL	NORTH ELEV.	SOUTH ELEV.	SW ELEV.	WEST ELEV.	EAST ELEV.	TOTAL MATERIAL
 MODULAR FACE BRICK - RUNNING BOND, U.N.O. - FIELD COLOR (RED BRICK) KANSAS BRICK, 530 FLASH	4,034 SF	2,482 SF	-	3,226 SF	4,654 SF	14,396 SF
 MODULAR FACE BRICK - STACK BOND, U.N.O. - ACCENT COLOR 1 (LIGHT BRICK) CLOUD CERAMICS, GREYSTONE	2,662 SF	195 SF	2,955 SF	4,064 SF	4,648 SF	14,524 SF
 CMU BURNISHED BLOCK VENEER, STACK BOND, U.N.O. - 8" X 16" BURNISHED BLOCK 2110 AUSTIN LIMESTONE	-	-	-	-	965 SF	965 SF
 STUCCO (EXTERIOR PORTLAND CEMENT PLASTER VENEER) - COLOR TBD	178 SF	-	376.5 SF	-	3,263 SF	3,817.5 SF
 GLAZED TERRA COTTA - CUSTOM BLUE BOSTON VALLEY TERRA COTTA, TERRACLAD	-	-	-	413.5 SF	907 SF	1,320.5 SF
 ALUMINUM COMPOSITE METAL PANEL FASCIA - REYNOLUX - COLOR TBD	22 SF	100 SF	248 SF	261 SF	36 SF	667 SF
TOTAL MATERIAL	6,896 SF	2,777 SF	3,578 SF	7,964.5 SF	14,473 SF	34,725 SF
MASONRY %	99.7%	96.4%	93.1%	91.5%	86.8%	
TOTAL CLASSROOM ADDITION MASONRY %	93.5%					

CITY OF TROPHY CLUB - BNHS - PD 28

DEVELOPMENT STANDARDS NISD HIGH SCHOOL NO.2 - TROPHY CLUB, TEXAS

DESIGN STANDARDS (APPLICABLE TO THIS PROJECT ONLY)

(A) PURPOSE: THIS PLANNED DEVELOPMENT IS DESIGNED TO ACCOMMODATE A HIGH SCHOOL AND OTHER APPURTENANT USES AS APPLICABLE WITH A HIGH SCHOOL SITE. FOR DEVELOPMENT PURPOSES, THE LAND IS ONE CONTIGUOUS TRACT. THE USE AND DEVELOPMENT OF THE TRACT SHALL BE IN ACCORDANCE WITH THE CODE OF ORDINANCES OF THE TOWN, SECTION 14.02.164 NS - NEIGHBORHOOD SERVICE DISTRICT REGULATIONS WITH THE FOLLOWING EXCEPTIONS:

5. AREA BUILDING AND SITE REGULATIONS:

THE BUILDING AND SITE REGULATIONS WILL GENERALLY FOLLOW CHAPTER 14 OF THE CODE OF ORDINANCES OF THE TOWN, SECTION 14.02.164 NS - NEIGHBORHOOD SERVICE DISTRICT REGULATIONS, WITH THE EXCEPTION OF THOSE ITEMS LISTED BELOW:

(A) BUILDING HEIGHT: NO BUILDING OR STRUCTURE SHALL EXCEED EIGHTY- FIVE FEET (85') OR THREE (3) STORIES IN HEIGHT.

(B) MECHANICAL & ELECTRICAL EQUIPMENT: MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. EQUIPMENT SCREENING SHALL NOT BE CONSIDERED AS A PART OF BUILDING HEIGHT.

CITY OF TROPHY CLUB - NS REGULATIONS

SEC. 14.02.164 NS NEIGHBORHOOD SERVICE DISTRICT REGULATIONS

DESIGN STANDARDS (APPLICABLE TO THIS PROJECT ONLY)

(A) PURPOSE: THE PURPOSE OF THE NS NEIGHBORHOOD SERVICE DISTRICT IS TO PROVIDE LIMITED LOW IMPACT SERVICE TYPE FACILITIES TO RESIDENTIAL AREAS. SERVICES PERMITTED IN THIS DISTRICT DO NOT INVOLVE RETAIL ACTIVITY. THE USES ALLOWED IN THESE DISTRICTS SHOULD NOT HAVE AN ADVERSE EFFECT ON ADJACENT RESIDENTIAL AREAS, AND MAY BE LOCATED CLOSE TO RESIDENTIAL USES, WITH APPROPRIATE BUFFERS AND LANDSCAPING.

(K) DESIGN REQUIREMENTS. THE FOLLOWING DESIGN REQUIREMENTS SHALL APPLY IN THE NS NEIGHBORHOOD SERVICE DISTRICT:

- (1) NO OUTDOOR STORAGE, EXCEPT FOR REFUSE DISPOSAL, SHALL BE PERMITTED. REFUSE DISPOSAL AREAS SHALL BE LANDSCAPED AND SCREENED FROM VIEW.
- (2) MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED, INSTALLED AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- (3) LIGHTING SHALL BE DESIGNED TO REFLECT AWAY FROM ANY ADJACENT RESIDENTIAL AREA.

BUILDING ELEVATION MATERIAL SUMMARY

1. BUILDING ELEVATIONS NORTH, SOUTH, EAST AND WEST DO NOT FACE A PUBLIC STREET. THE CLASSROOM ADDITION ENTRY IS LOCATED OFF OF A PRIVATE DRIVE.
2. THE ROOF TOP MECHANICAL EQUIPMENT IS LOCATED ON THE ROOF OF THE NEW CLASSROOM ADDITION. THE UNITS WILL NOT BE VISIBLE ON ANY POINT OF THE PROPERTY OR ADJACENT PROPERTIES.

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STRUCTURAL

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FOOD SERVICE

JMK FOODSERVICE CONSULTING & DESIGN
3431 LAKEVIEW PARKWAY, SUITE 205
ROWLETT, TEXAS 75088

GENERAL CONTRACTOR

NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
COPPELL, TEXAS 75019

PROJECT



BYRON NELSON HIGH
SCHOOL ADDITION
AND RENOVATION
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

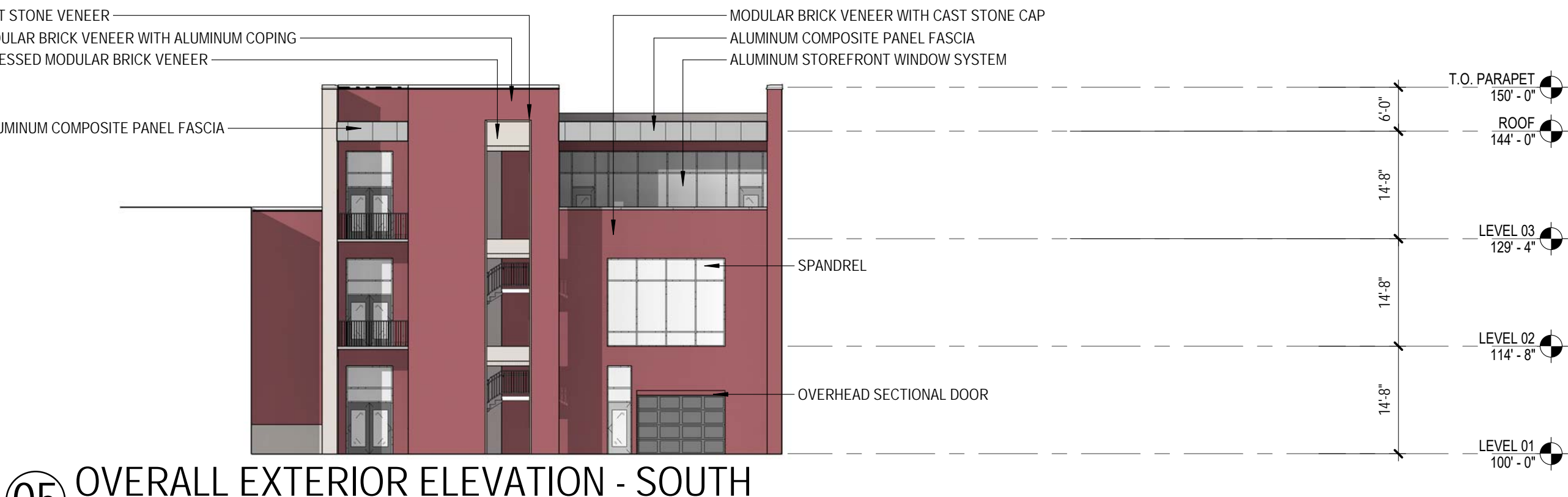
Job Number	143117.000
Drawn	JL
Checked	MD
Approved	ML

TITLE

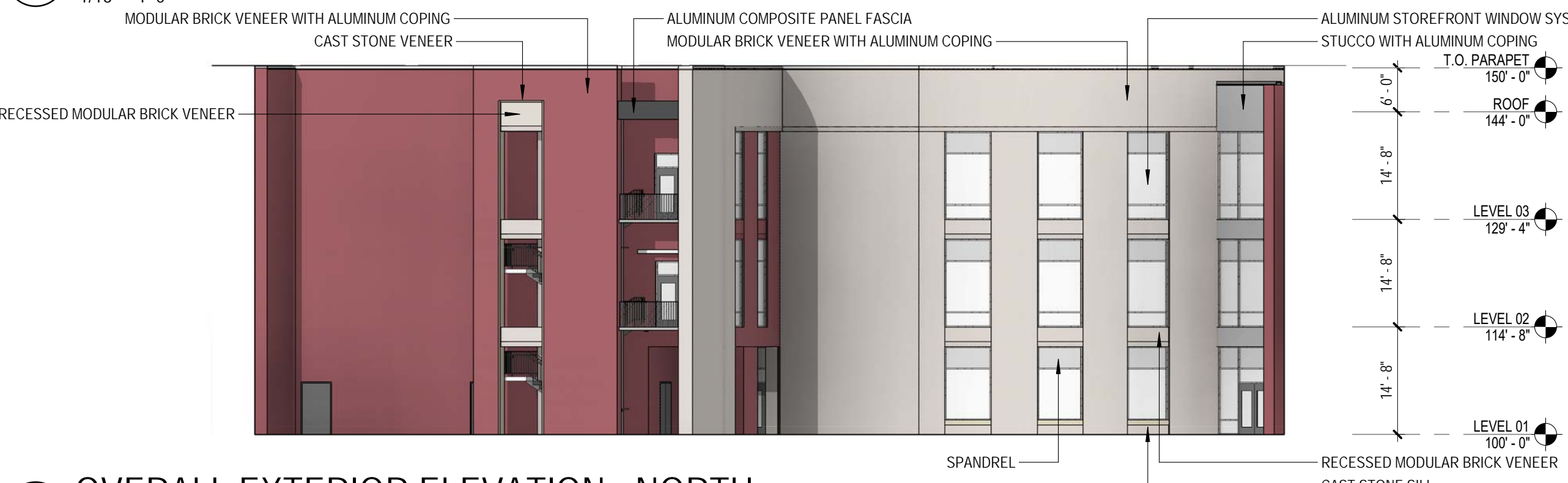
OVERALL EXTERIOR
ELEVATIONS - AREA A &
B

SHEET NUMBER

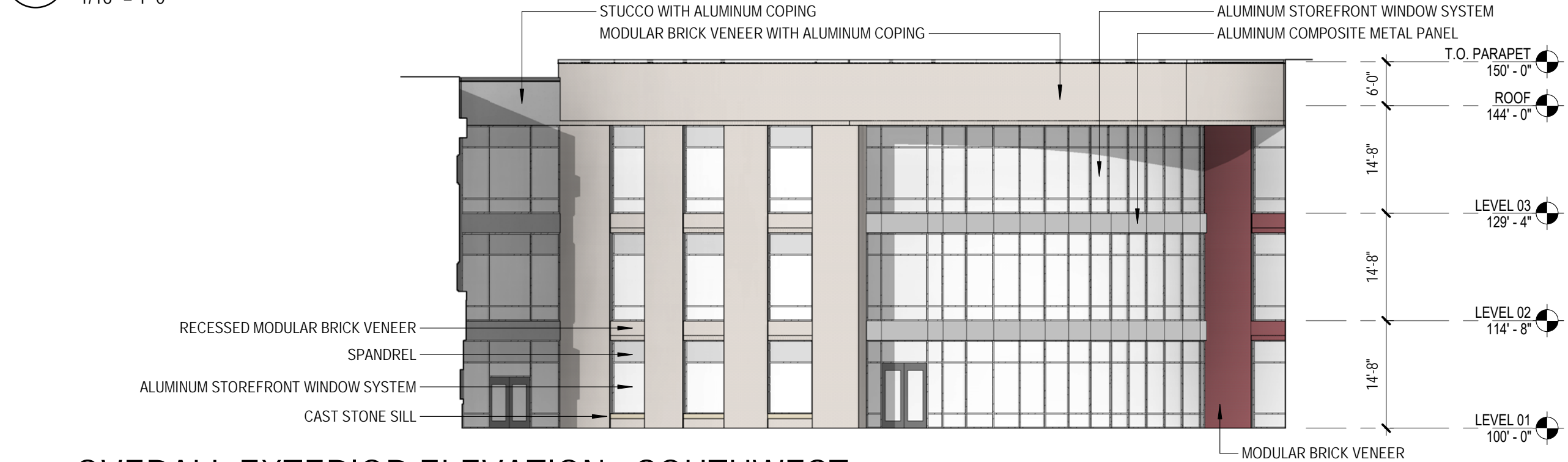
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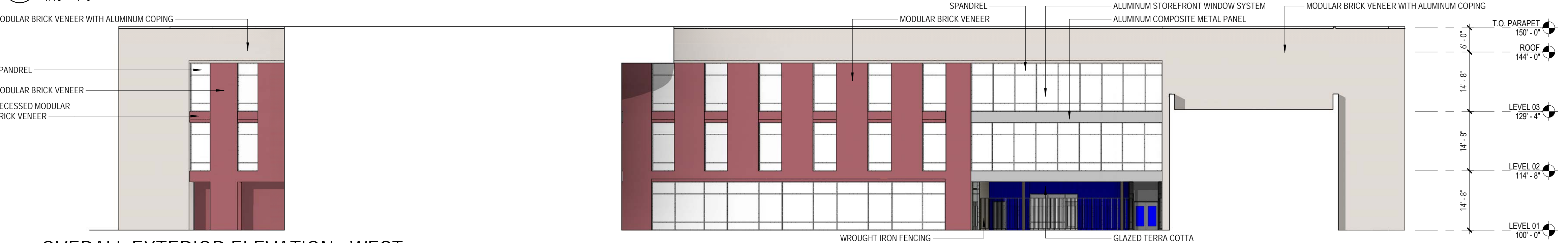
05 OVERALL EXTERIOR ELEVATION - SOUTH



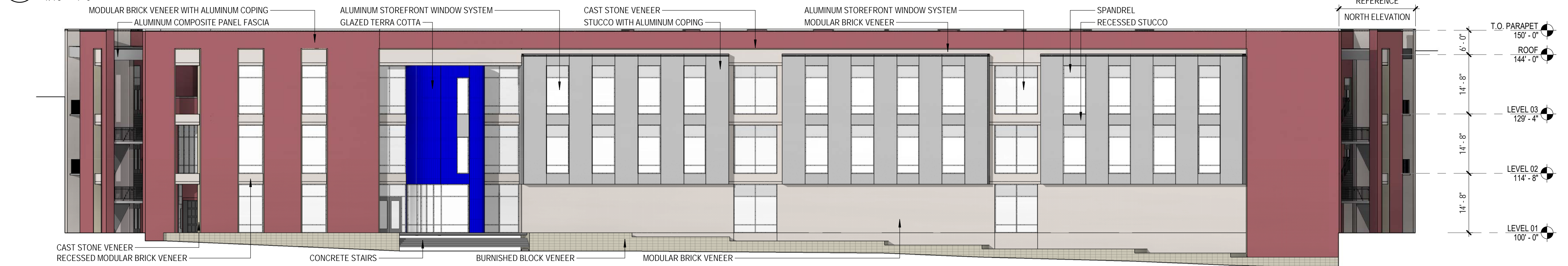
04 OVERALL EXTERIOR ELEVATION - NORTH



03 OVERALL EXTERIOR ELEVATION - SOUTHWEST



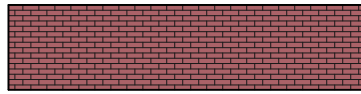
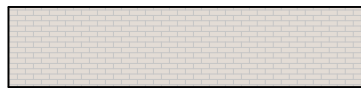
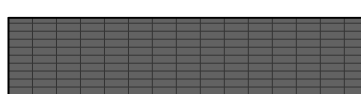
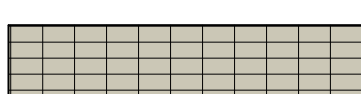
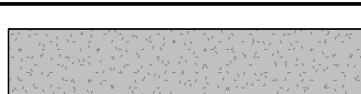

02 OVERALL EXTERIOR ELEVATION - WEST



01 OVERALL EXTERIOR ELEVATION - EAST

Exhibit G

BUILDING ELEVATION MATERIAL - AREA C - SUMMARY

MATERIAL	NORTH ELEVATION	SOUTH ELEVATION	EAST ELEVATION	WEST ELEVATION	TOTAL MATERIAL
 MODULAR FACE BRICK - RUNNING BOND, U.N.O. - FIELD COLOR (RED BRICK) KANSAS BRICK, 530 FLASH	1,311.5 SF	1,955 SF	363 SF	-	3,629.5 SF
 MODULAR FACE BRICK - RUNNING BOND, U.N.O. - ACCENT COLOR 1 (LIGHT BRICK) CLOUD CERAMICS, GREYSTONE	86 SF	187 SF	34 SF	-	307 SF
 MODULAR FACE BRICK - STACK BOND, U.N.O. - ACCENT COLOR 2 (DARK BRICK) CLOUD CERAMICS, EBONY IRONSPOT	471 SF	1,122 SF	261 SF	-	1,854 SF
 OILY BURNISHED BLOCK VENEER STACK BOND, U.N.O. - 8" X 16" BURNISHED BLOCK 2110 AUSTIN LIMESTONE	-	-	-	-	-
 STUCCO (EXTERIOR PORTLAND CEMENT PLASTER VENEER) - COLOR TBD	-	-	-	-	-
 ALUMINUM COMPOSITE METAL PANEL FASCIA - REYNOLBOND REYNOLUX - COLOR TBD	-	-	-	-	-
TOTAL MATERIAL	1,868.5 SF	3,264 SF	658 SF	-	5,790.5 SF
MASONRY %	100%	100%	100%	-	
TOTAL FINE ARTS RENOVATION MASONRY %					100%

CITY OF TROPHY CLUB - BNHS - PD 28

DEVELOPMENT STANDARDS NISD HIGH SCHOOL NO.2 - TROPHY CLUB, TEXAS

DESIGN STANDARDS (APPLICABLE TO THIS PROJECT ONLY)

(A) PURPOSE: THIS PLANNED DEVELOPMENT IS DESIGNED TO ACCOMMODATE A HIGH SCHOOL AND OTHER APPURTENANT USES AS APPLICABLE WITH A HIGH SCHOOL SITE. FOR DEVELOPMENT PURPOSES, THE LAND IS ONE CONTIGUOUS TRACT. THE USE AND DEVELOPMENT OF THE TRACT SHALL BE IN ACCORDANCE WITH THE CODE OF ORDINANCES OF THE TOWN, SECTION 14.02.164 NS - NEIGHBORHOOD SERVICE DISTRICT REGULATIONS WITH THE FOLLOWING EXCEPTIONS:

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CITY OF TROPHY CLUB - NS REGULATIONS

SEC. 14.02.164 NS NEIGHBORHOOD SERVICE DISTRICT REGULATIONS

DESIGN STANDARDS (APPLICABLE TO THIS PROJECT ONLY)

(A) PURPOSE: THE PURPOSE OF THE NS NEIGHBORHOOD ERVICE DISTRICT IS TO PROVIDE LIMITED LOW IMPACT SERVICE TYPE FACILITIES TO RESIDENTIAL AREAS. SERVICES PERMITTED IN THIS DISTRICT DO NOT INVOLVE RETAIL ACTIVITY. THE USES ALLOWED IN THESE DISTRICTS SHOULD NOT HAVE AN ADCERSE EFFECT ON ADJACENT RESIDENTIAL AREAS, AND MAY BE LOCATED CLOSE TO RESIDENTIAL USES, WITH APPROPRIATE BUFFERS AND LANDSCAPING.



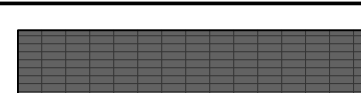
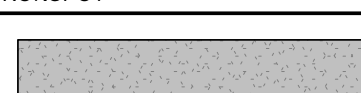
(K) DESIGN REQUIREMENTS. THE FOLLOWING DESIGN REQUIREMENTS SHALL APPLY IN THE NS NEIGHBORHOOD SERVICE DISTRICT:

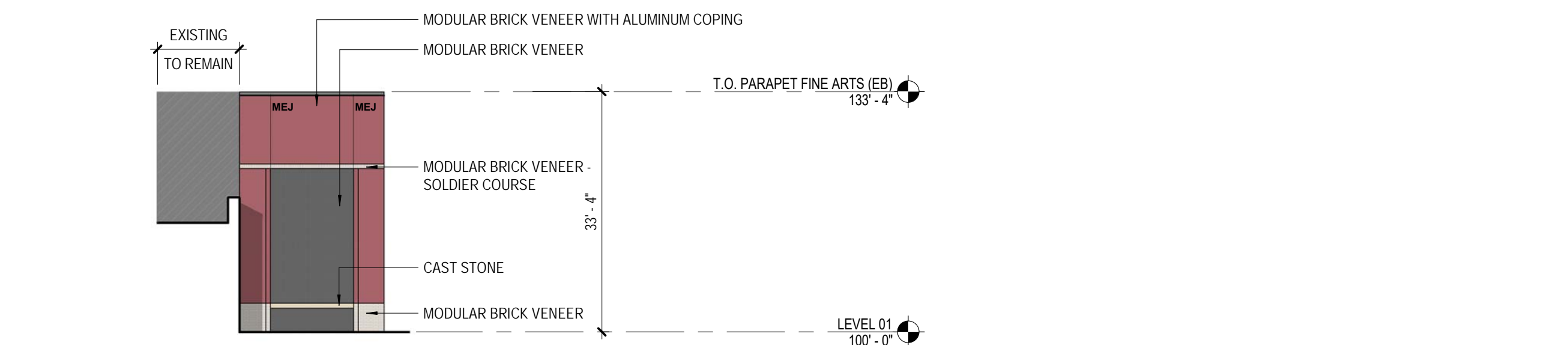
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- (3) LIGHTING SHALL BE DESIGNED TO REFLECT AWAY FROM ANY ADJACENT RESIDENTIAL AREA.

BUILDING ELEVATION MATERIAL SUMMARY

1. BUILDING ELEVATIONS NORTH, SOUTH, EAST AND WEST IN AREAS C & K DO NOT FACE A PUBLIC STREET. THE WRESTLING RENOVATION ENTRY AND FINE ARTS RENOVATION ENTRY IS LOCATED OFF OF A PRIVATE DRIVE.
2. THE ROOF TOP MECHANICAL EQUIPMENT IS LOCATED ON THE ROOF OF THE NEW CLASSROOM ADDITION. THE UNITS WILL NOT BE VISIBLE ON ANY POINT OF THE PROPERTY OR ADJACENT PROPERTIES.

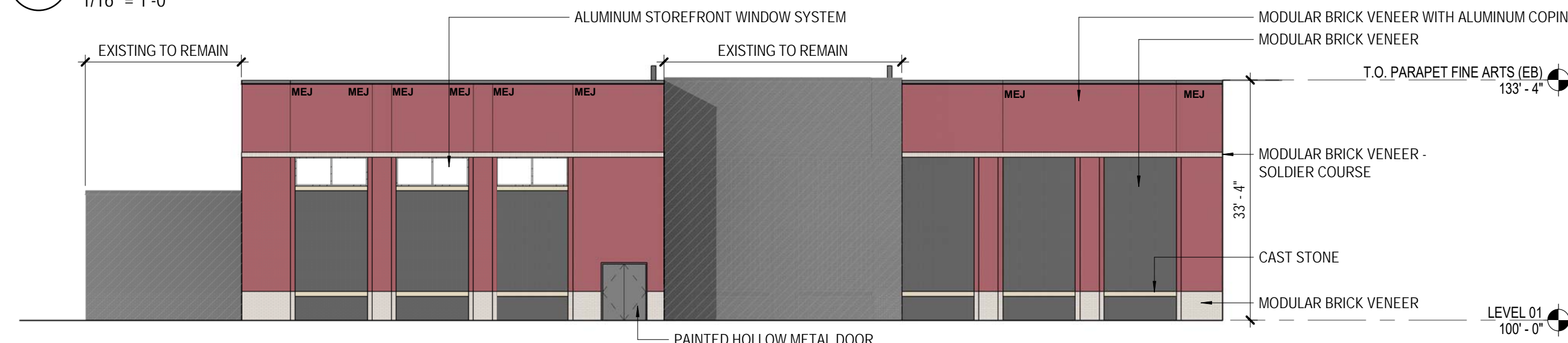
BUILDING ELEVATION MATERIAL - AREA K - SUMMARY

MATERIAL	NORTH ELEVATION	SOUTH ELEVATION	EAST ELEVATION	WEST ELEVATION	TOTAL MATERIAL
 MODULAR FACE BRICK - RUNNING BOND, U.N.O. - FIELD COLOR (RED BRICK) KANSAS BRICK, 530 FLASH	901 SF	-	-	-	901 SF
 MODULAR FACE BRICK - RUNNING BOND, U.N.O. - ACCENT COLOR 1 (LIGHT BRICK) CLOUD CERAMICS, GREYSTONE	648 SF	-	-	-	648 SF
 MODULAR FACE BRICK - STACK BOND, U.N.O. - ACCENT COLOR 2 (DARK BRICK) CLOUD CERAMICS, EBONY IRONSPOT	133 SF	-	-	-	133 SF
 STUCCO (EXTERIOR PORTLAND CEMENT PLASTER VENEER) - COLOR TBD	-	207 SF	-	-	-
TOTAL MATERIAL	1,682 SF	207 SF	-	-	1,889 SF
MASONRY %	100%	100%	-	-	
TOTAL CLASSROOM INFILL MASONRY %					100%



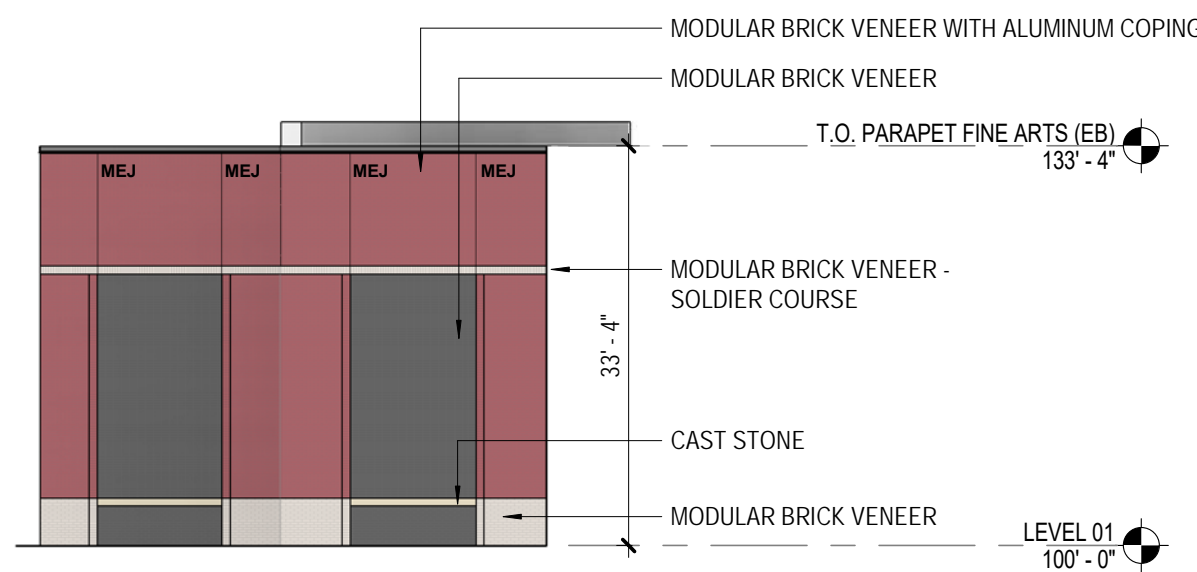
05 OVERALL EXT ELEVATION - AREA C - SOUTH

1/16" = 1'-0"



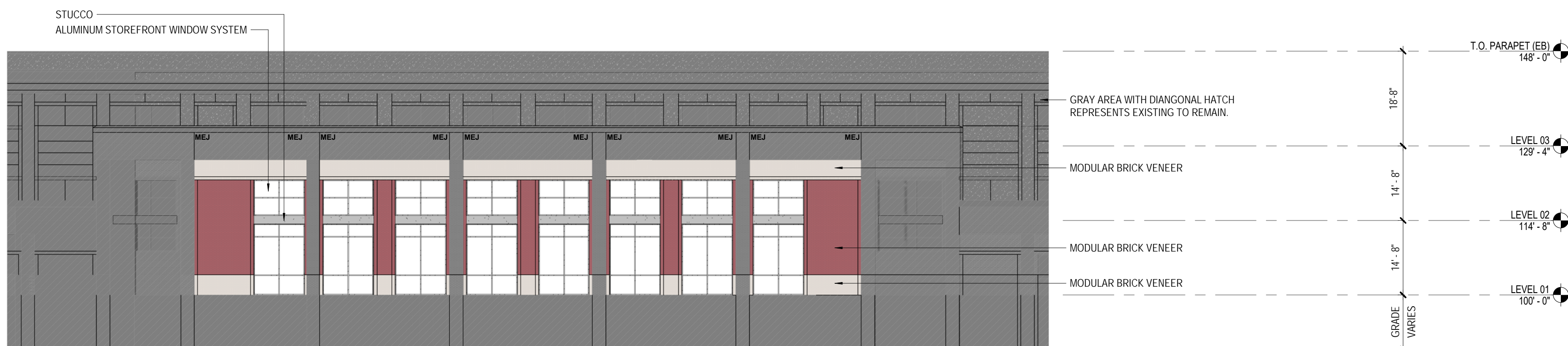
04 OVERALL EXT ELEVATION - AREA C - EAST

1/16" = 1'-0"



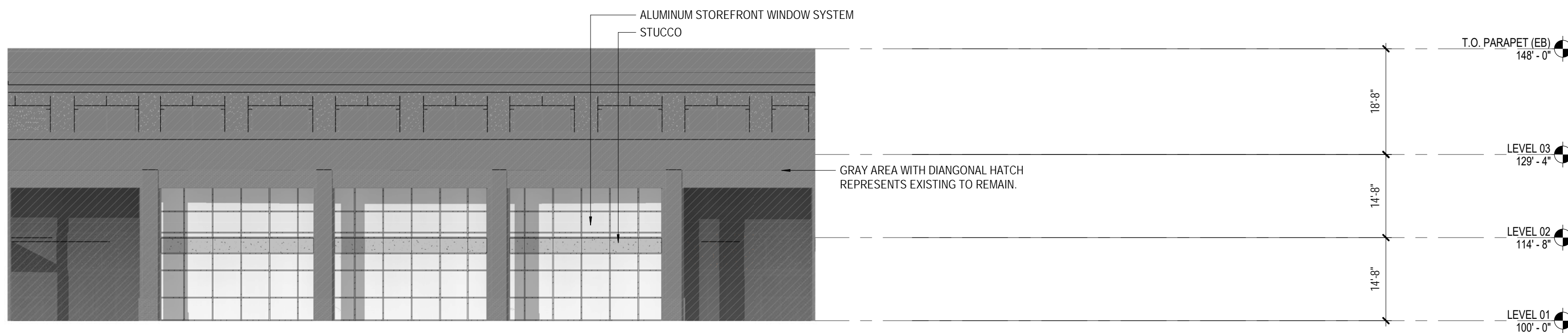
03 OVERALL EXT ELEVATION - AREA C - NORTH

1/16" = 1'-0"



02 OVERALL EXT ELEVATION - AREA K - NORTH

1/16" = 1'-0"



01 OVERALL EXT ELEVATION - AREA K - SOUTH

1/16" = 1'-0"

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ALLEN, TEXAS 75013

STRUCTURAL

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3333 LEE PARKWAY, SUITE 300
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MEP

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LANDSCAPING

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FOOD SERVICE

JMK FOODSERVICE CONSULTING & DESIGN
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ROWLETT, TEXAS 75088

GENERAL CONTRACTOR

NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
COPPELL, TEXAS 75019

PROJECT

BYRON NELSON HIGH
SCHOOL ADDITION
AND RENOVATION
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

Job Number	143117.000
Drawn	JL
Checked	MD
Approved	ML

TITLE

OVERALL EXTERIOR
ELEVATIONS - AREA C &
K

SHEET NUMBER

A20-02

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Meeting Date: Thursday, October 4, 2018

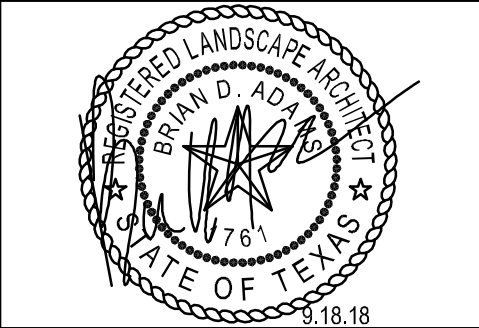
Exhibit H

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DALLAS, TEXAS 75201
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CONSULTANTS

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ROWLETT, TEXAS 75088
GENERAL CONTRACTOR
NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
COPPELL, TEXAS 75019



PROJECT



BYRON NELSON HIGH
PHASE II
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

SITE PLAN RE-SUBMITTAL 09/18/2018

MARK	ISSUE	DATE
Job Number	143117.000	
Drawn	BDA	
Checked	BDA	
Approved	Approver	

KEY SHEET

SHEET NUMBER

L00-00

PHASE II SCOPE OF WORK
LANDSCAPE TABULATIONS:

BUILDING ADDITION / COURTYARD
PERIMETER LANDSCAPE REQUIREMENTS
Requirements: N.A.

NON-VEHICULAR OPEN SPACE: (SITE AREA: 123,167 S.F.)
Requirements: 15% of site area to be devoted to landscape with
(9) trees, 4" cal. min., 4,000 s.f. of non-vehicular open space.
Required
18,475 s.f. (15%)
(42) trees, 4" cal.
Provided
32,497 s.f. (26.3%)
(1) existing tree, 4" >
(43) trees, 4" cal.
(11) ornamental trees, 7-8' ht.

PARKING LOT (22,051 s.f. / 32 spaces)
Requirement: 10% of parking area shall be devoted to landscape area. (1) 4" cal. tree required for each 400 s.f. of required area. Parking lot islands shall be provided every 24 parking spaces and at the end of each row.
Required
2,205 s.f. (10%)
(6) trees, 4" cal.
Provided
3,285 s.f. (14.8%)
(6) trees, 4" cal.

PHASE II HOUSE SCOPE OF WORK
LANDSCAPE TABULATIONS: ENTRY PLAZA
PERIMETER LANDSCAPE REQUIREMENTS
Requirements: N.A.

NON-VEHICULAR OPEN SPACE: TOTAL SITE AREA: 71,509 s.f.
Requirements: 15% of site area to be devoted to landscape with
(9) trees, 4" cal. min., 4,000 s.f. of non-vehicular open space.
Required
10,726 s.f. (15%)
(25) trees, 4" cal.
Provided
11,392 s.f. (15.9%)
(22) trees, 4" cal.
(16) existing trees, 4" >
(10) transplant trees
(13) evergreen trees, 12' ht.

PARKING LOT (11,051 s.f. / 22 spaces)
Requirement: 10% of parking area shall be devoted to landscape area. (1) 4" cal. tree required for each 400 s.f. of required area. Parking lot islands shall be provided every 24 parking spaces and at the end of each row.
Required
1,105 s.f. (10%)
(3) trees, 4" cal.
Provided
1,946 s.f. (17.6%)
(9) trees, 4" cal.

TREE REMOVAL SHEET 01 / 02 L00-01



01 KEY SHEET

SCALE: 1" = 100'-0"

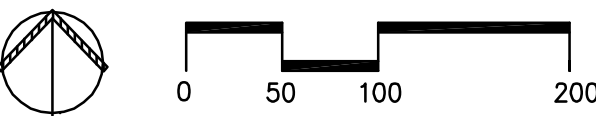


Exhibit J

PLANT LIST

TREES					
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
22	BE	Bosque Elm	<i>Ulmus parvifolia</i> 'Bosque'	4" cal.	container grown, 13' ht., 4'-5' spread min.
3	LO	Live Oak	<i>Quercus virginiana</i>	4" cal.	container grown, 15' ht., 5' spread min.
13	MAG	Magnolia 'DD Blanchard'	<i>Magnolia</i> sp. 'DD Blanchard'	12' ht.	container grown, full to base, matching
SHRUBS					
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
450	MFG	Mexican Feather Grass	<i>Nassella tenuissima</i>	3 gal.	container, full top of container
82	NPH	Needlepoint Holly	<i>Ilex cornuta</i> 'Needlepoint'	5 gal.	container, full plant, 36" o.c.
63	RY	Red Yucca 'Brakelights'	<i>Hesperaloe parviflora</i> 'Brakelights'	5 gal.	container, full plant, 36" o.c.
GROUNDCOVERS					
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
400	BKSG	Berkeley Sedge	<i>Carex divulsa</i>	4" pots	container, full top of container, 12" o.c.
710	WC	Wintercreeper	<i>Euonymus fortunei</i> coloratus	4" pots	container, (3) 12" runners min. 12" o.c.
		Common Bermudagrass	<i>Cynodon dactylon</i>	roll sod	solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

IRRIGATION REPAIR SPECIFICATIONS

- Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
- Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, sleeving, etc.

LAWN REPAIR NOTES

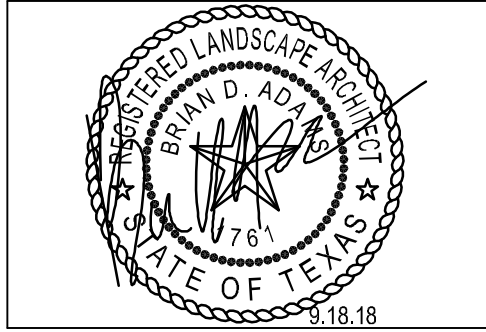
- All lawn areas damaged during construction to be repaired with solid sod and raked free of debris.
- Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to fill voids.
- Roll repaired areas to achieve a smooth, even surface, free from unnatural undulations.

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PROJECT



BYRON NELSON HIGH
PHASE II
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

SITE PLAN RE-SUBMITTAL 09/18/2018

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	Checked	BDA
	Approved	BDA

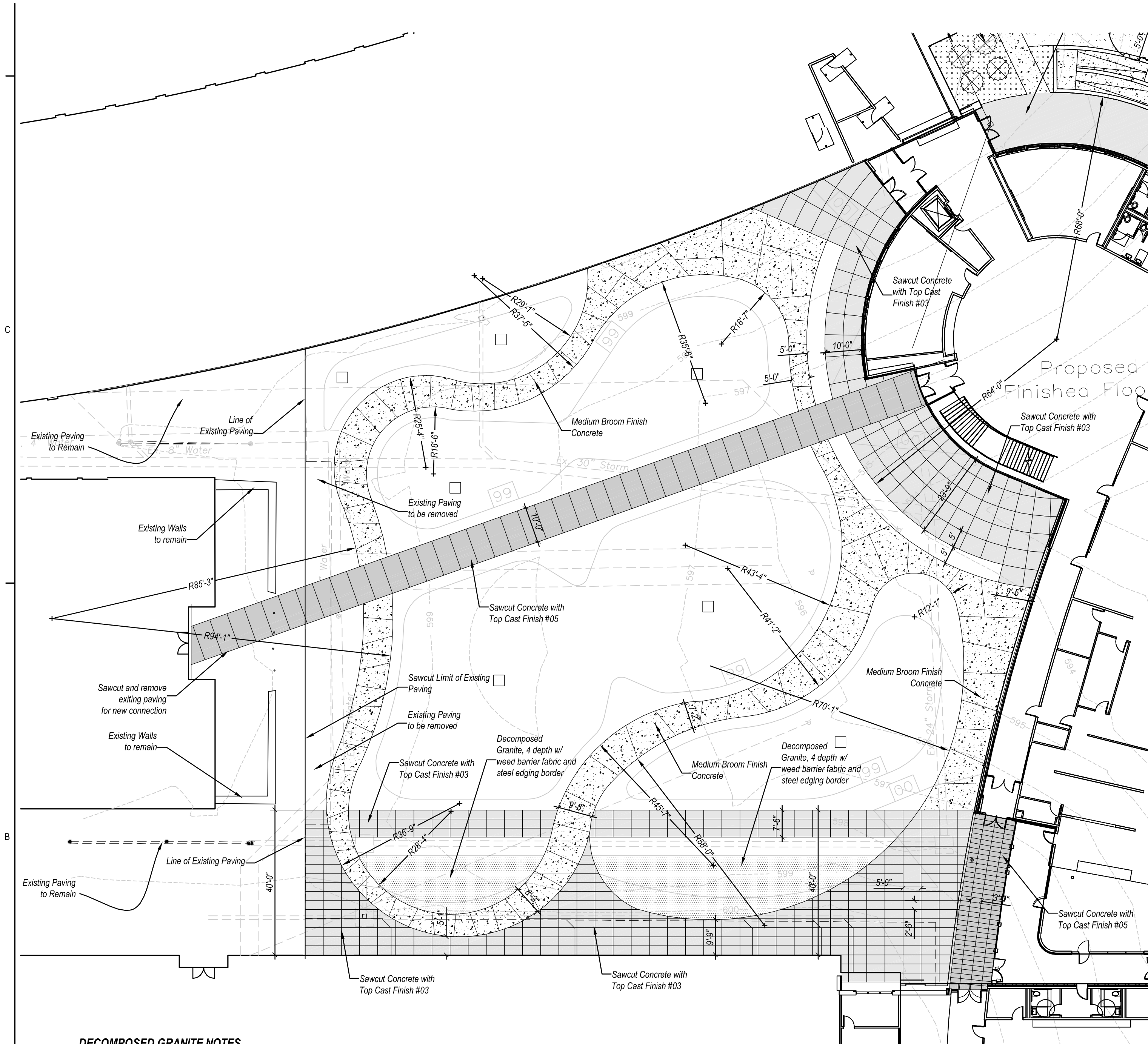
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ENTRY PLAZA
LANDSCAPE PLAN

SHEET NUMBER

L01-01

Exhibit K



DECOMPOSED GRANITE NOTES

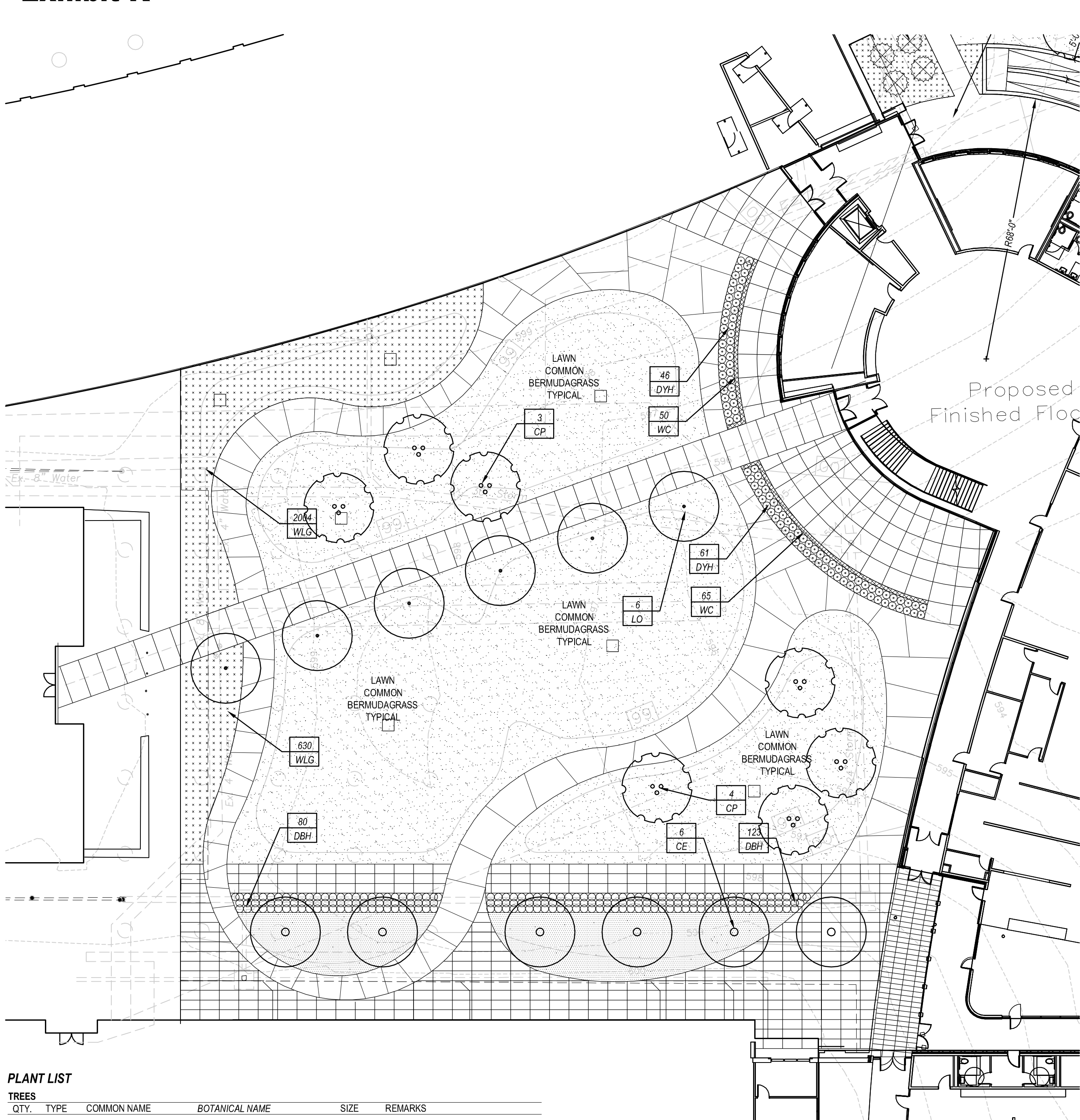
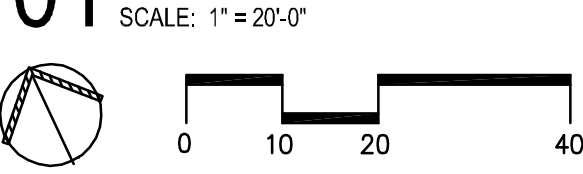
- Provide Decomposed Granite with 'Stabilizer' Binder additive surfacing as indicated on drawings.
- Submit representative samples of items specified for approval by Landscape Architect, Architect and Owner.
- Decomposed Granite base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and various stages of decomposed earth base.
- Filter Fabric: Fabric shall be 'Mirascap', non-woven needle punched fabric made from polypropylene, non-biodegradable, inert to soil chemicals, acids and alkalines over a pH range of 3 - 12, as manufactured by MIRAFI Inc., or approved equal.
- 'Stabilizer' Binder additive to be provided by: Stabilizer Solutions 1 (800) 336-2468; www.stabilizersolutions.com Blend to be 12 - 16 lbs. of Stabilizer per ton of Decomposed Granite, thoroughly mixed throughout.
- Provide grade stakes at 10 foot centers to insure grade points indicated on drawings are met. Insure scope of subgrade and finish surface meets cross sections indicated in details.
- Prepare subgrade by excavating existing material soils to a maximum depth of 4".
- After excavation, rototill or scarify top 1 inch of subgrade and compact to 95% standard proctor using double drum, single drum or automatic hand tampers.
- Install filter fabric in bottom of excavation to limits of path.
- Place four (4) inches of Decomposed Granite with 'Stabilizer' Binder over a dry sub-base. Do not install on wet sub-base. Provide compaction of material to maximum limits with automatic hand tampers in one inch lifts, unless noted otherwise on details. Compact to achieve a tight material matrix.
- Provide ten (10) 50 lbs. bags of pre-mixed Decomposed Granite for future use in repair and maintenance.
- The Contractor shall construct a sample panel 5'-0" x 5'-0" on site, at no expense to the Owner, for approval by the Landscape Architect / Owner prior to commencing work.
- The Landscape Architect reserves the right to reject any and all work executed by the Contractor which does not meet his/her expectations and the Manufacturer's Specifications.

CONCRETE NOTES

- All concrete shall be in accordance with the A.C.I. standard 'Building Code Requirements for Reinforced Concrete' (A.C.I. 318) latest revision.
- All reinforcing steel shall be new domestic deformed billet steel conforming to ASTM A615, Grade 60 (60,000 PSI yield point).
- Reinforcing bar supports and spacers shall be provided in accordance with the Manual of Standard Practice by the Concrete Reinforcing Steel Institute.
- Concrete shall have a minimum compressive strength at 28 days of 3000 PSI.
- Grade beam concrete protection of reinforcement shall be 2" minimum top and sides, 3" minimum bottom.
- Maximum nominal coarse aggregate sizes for concrete in the slabs-on-grade shall be 3/4".
- Concrete slumps shall be 4" maximum, 2" minimum.



01 COURTYARD HARDSCAPE PLAN



PLANT LIST

TREES						
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	
6	CE	Cedar Elm	Ulmus crassifolia	4\" cal.	B&B, 15' ht., 6' spread min., matching	
6	LO	Live Oak	Quercus virginiana	4\" cal.	B&B, 15' ht., 6' spread min.	
7	CP	Chinese Pistache	Pistacia chinensis	4\" cal.	B&B, 14' ht., 6' spread min.	

SHRUBS						
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	
111	DYH	Dwarf Yaupon Holly	Ilex vomitoria nana	5 gal.	container, full plant, 24\" o.c.	
203	DBH	Dwarf Burfordi Holly	Ilex cornuta 'Burfordi nana'	5 gal.	container, full plant, 24\" o.c.	

GROUNDCOVERS						
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	
2,634	WLG	Weeping Lovegrass	Eragrostis curvula	4\" pots	container, full top of container, 12\" o.c.	
115	WC	Wintercreeper	Eucynymus fortunei coloratus	4\" pots	container, (3) 12\" runners min, 12\" o.c.	
		Common Bermudagrass	Cynodon dactylon	roll sod	solid sod, refer to notes	

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE NOTES

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GENERAL LAWN NOTES

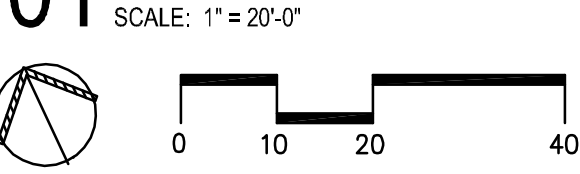
- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1\" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4\" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
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SOLID SOD NOTES

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- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
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01 COURTYARD LANDSCAPE PLAN

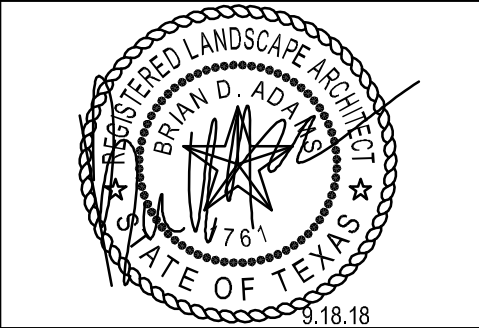


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PROJECT



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TROPHY CLUB, TEXAS 76262

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SITE PLAN RE-SUBMITTAL 09/18/2018

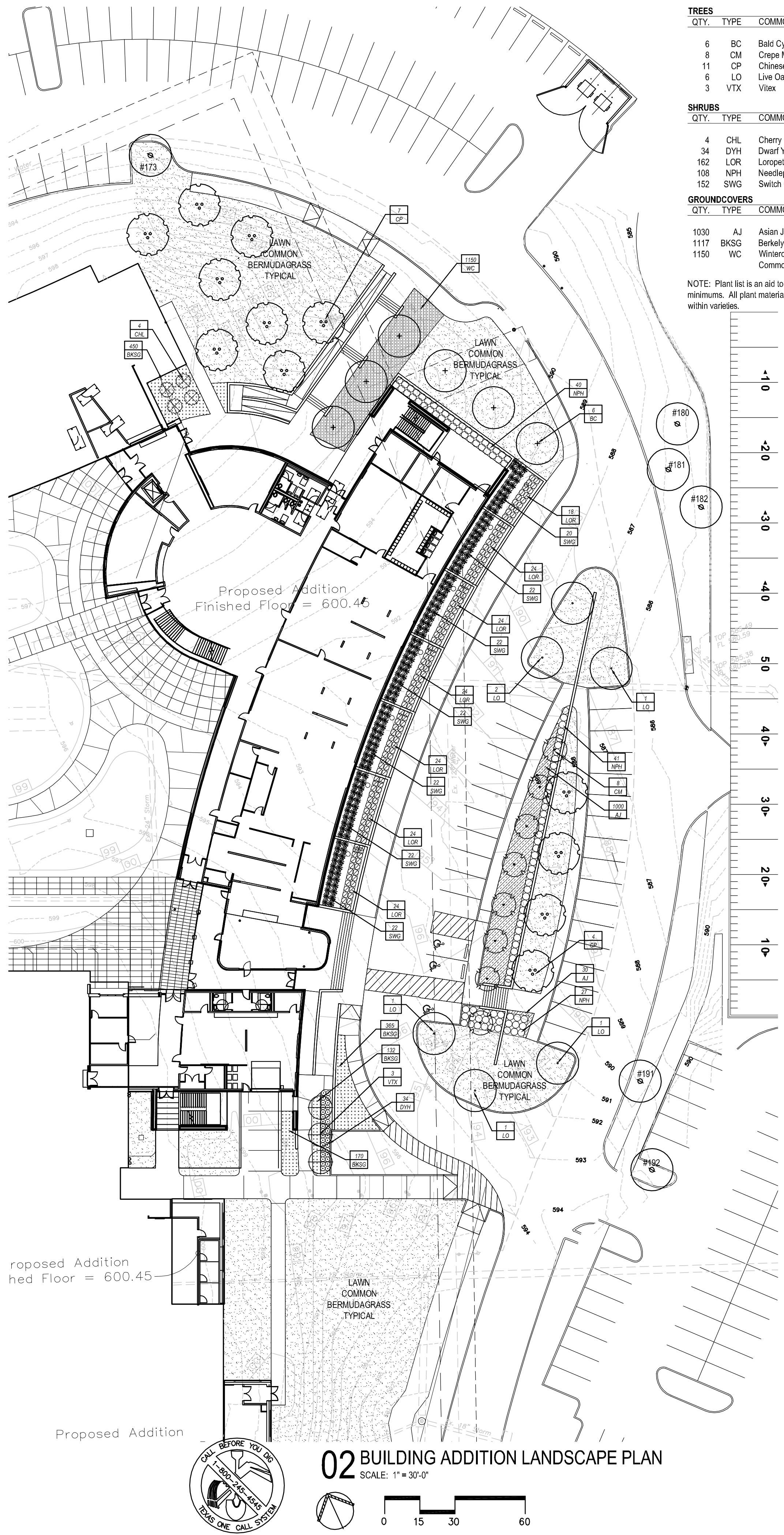
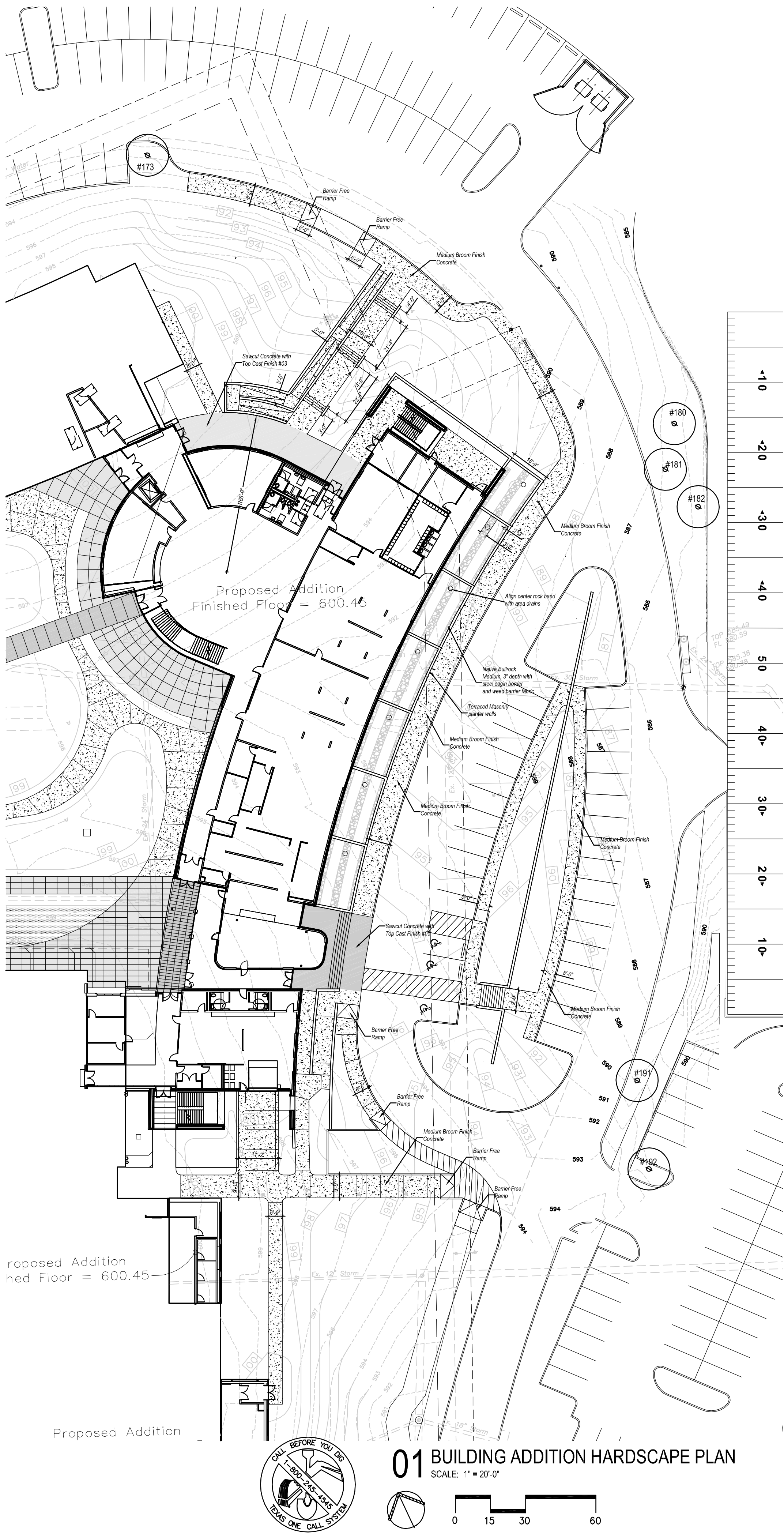
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Drawn	BDA	
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Approved	BDA	

INTERIOR COURTYARD
LANDSCAPE PLAN

SHEET NUMBER

L01-02

Exhibit L



PLANT LIST

TREES					
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
6	BC	Bald Cypress	<i>Taxodium distichum</i>	4" cal.	B&B, 15' ht., 6' spread min.
8	CM	Crepe Myrtle 'Red'	<i>Lagerstroemia indica 'Red'</i>	8' ht.	container, 3-5 cane, no cross caning
11	CP	Chinese Pistache	<i>Pistachia chinensis</i>	4" cal.	B&B, 18' ht. 6' spread min.
6	LO	Live Oak	<i>Quercus virginiana</i>	4" cal.	B&B, 15' ht. 5'-6' spread min.
3	VTX	Vitex	<i>Vitex agnes-castus</i>	7' ht.	container, tree form

SHRUBS					
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
4	CHL	Cherry Laurel	<i>Prunus caroliniana</i>	7' ht.	container, full plant, full to base
34	DYH	Dwarf Yaupon Holly	<i>Ilex vomitoria nana</i>	5 gal.	container, full plant, 24" o.c.
162	LOR	Loropetalum 'Plum Delight'	<i>Loropetalum sp. 'Plum Delight'</i>	5 gal.	container, full plant, 30" o.c.
108	NPH	Needlepoint Holly	<i>Ilex cornuta 'Needlepoint'</i>	5 gal.	container, full plant, 36" o.c.
152	SWG	Switch Grass 'Heavy Metal'	<i>Panicum sp. 'Heavy Metal'</i>	3 gal.	container, full plant, 36" o.c.

GROUND COVERS					
QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
1030	AJ	Asian Jasmine	<i>Trachelosperma asiaticum</i>	4" pots	container, (3) 12" runners min. 12" o.c.
1117	BKSG	Berkely Sedge	<i>Carex divisa</i>	4" pots	container, full top of container, 12" o.c.
1150	WC	Wintercreeper	<i>Euroyuncus fortunei coloratus</i>	roll sod	container, (3) 12" runners min. 12" o.c.
		Common Bermudagrass	<i>Cynodon dactylon</i>		solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

SOLID SOD NOTES

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4. Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
5. Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
6. Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
7. Water sod thoroughly as sod operation progresses.
8. Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
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LANDSCAPE NOTES

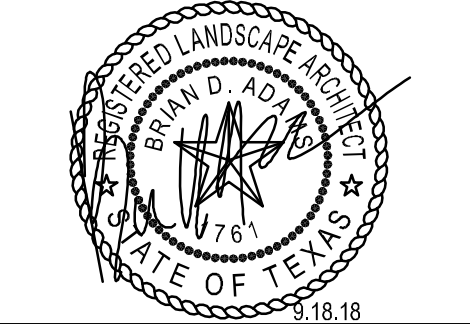
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PROJECT



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TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

SITE PLAN RE-SUBMITTAL 09/18/2018

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BUILDING ADDITION
LANDSCAPE PLAN

SHEET NUMBER

L01-03

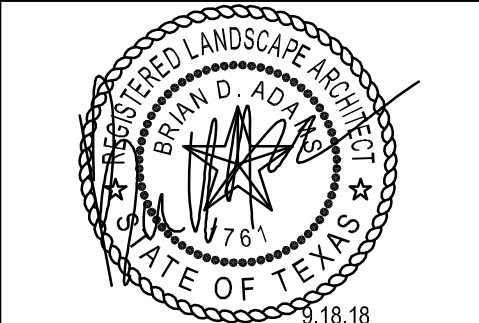
Exhibit M

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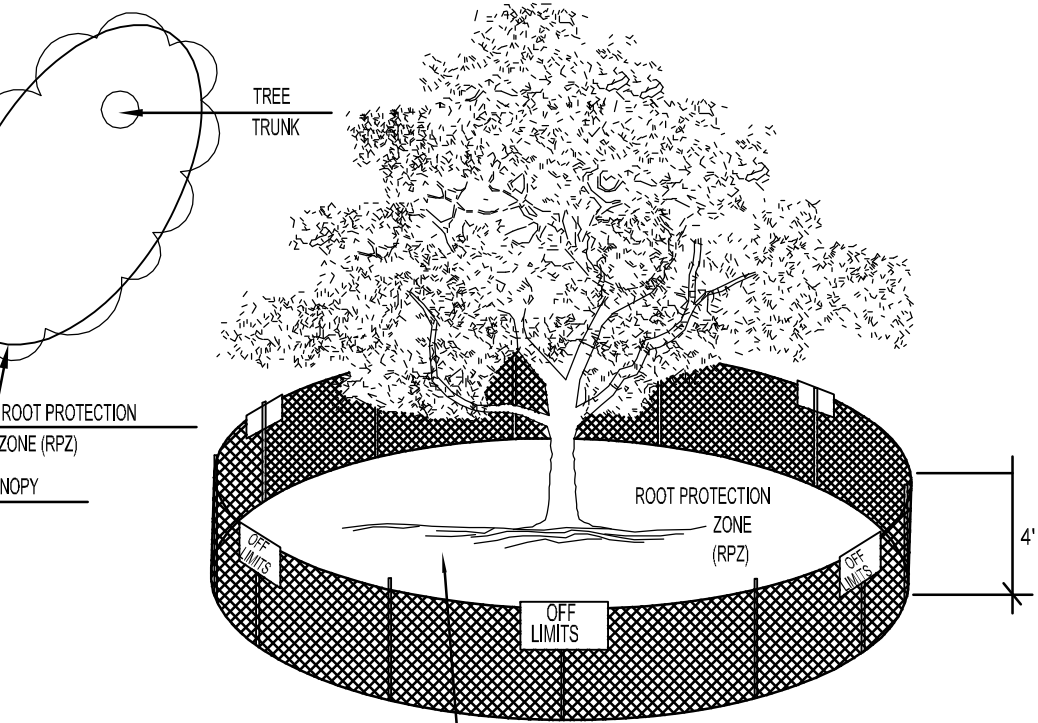
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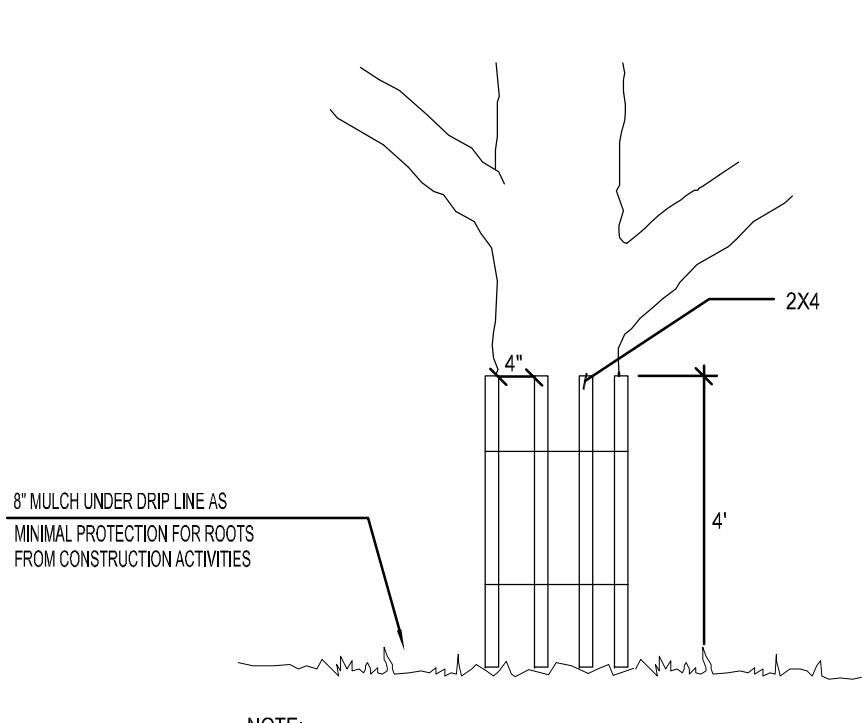
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AND NOTES

SHEET NUMBER

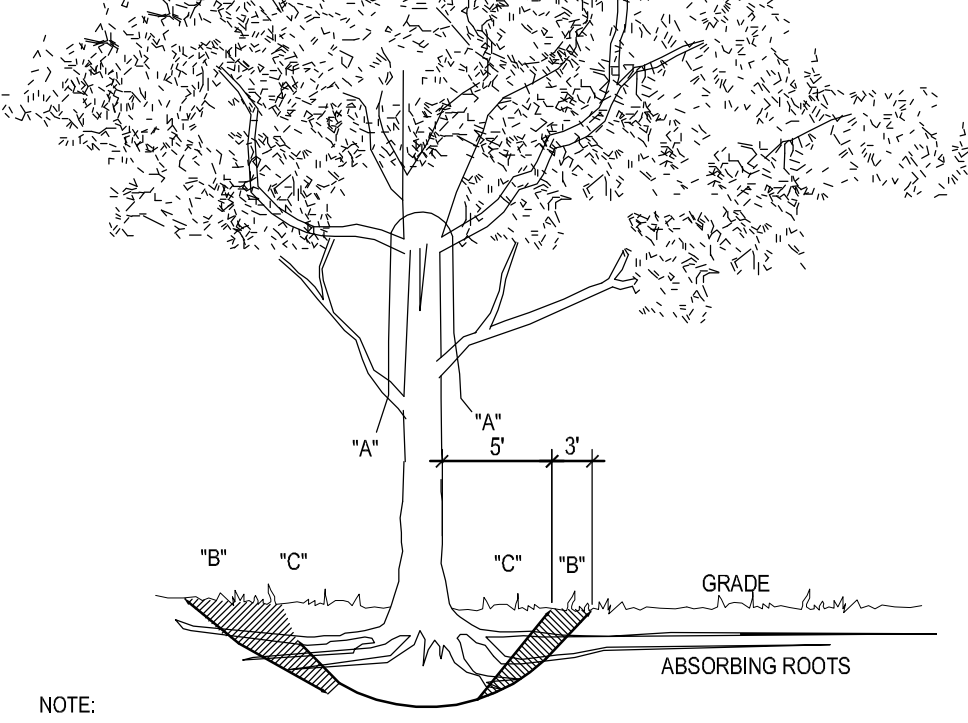
L01-04



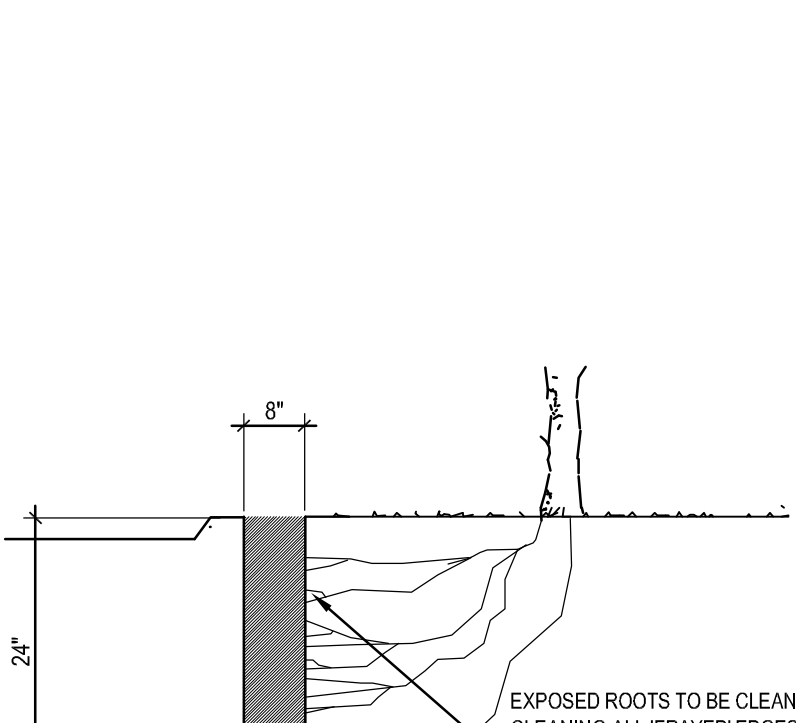
01 TREE PROTECTION FENCE A
NOT TO SCALE



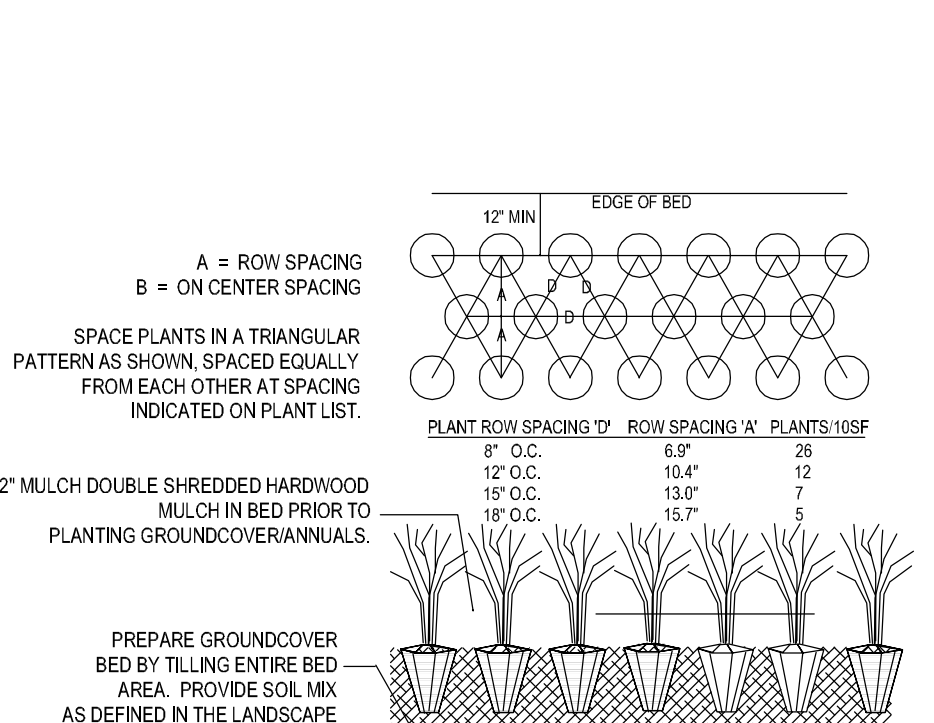
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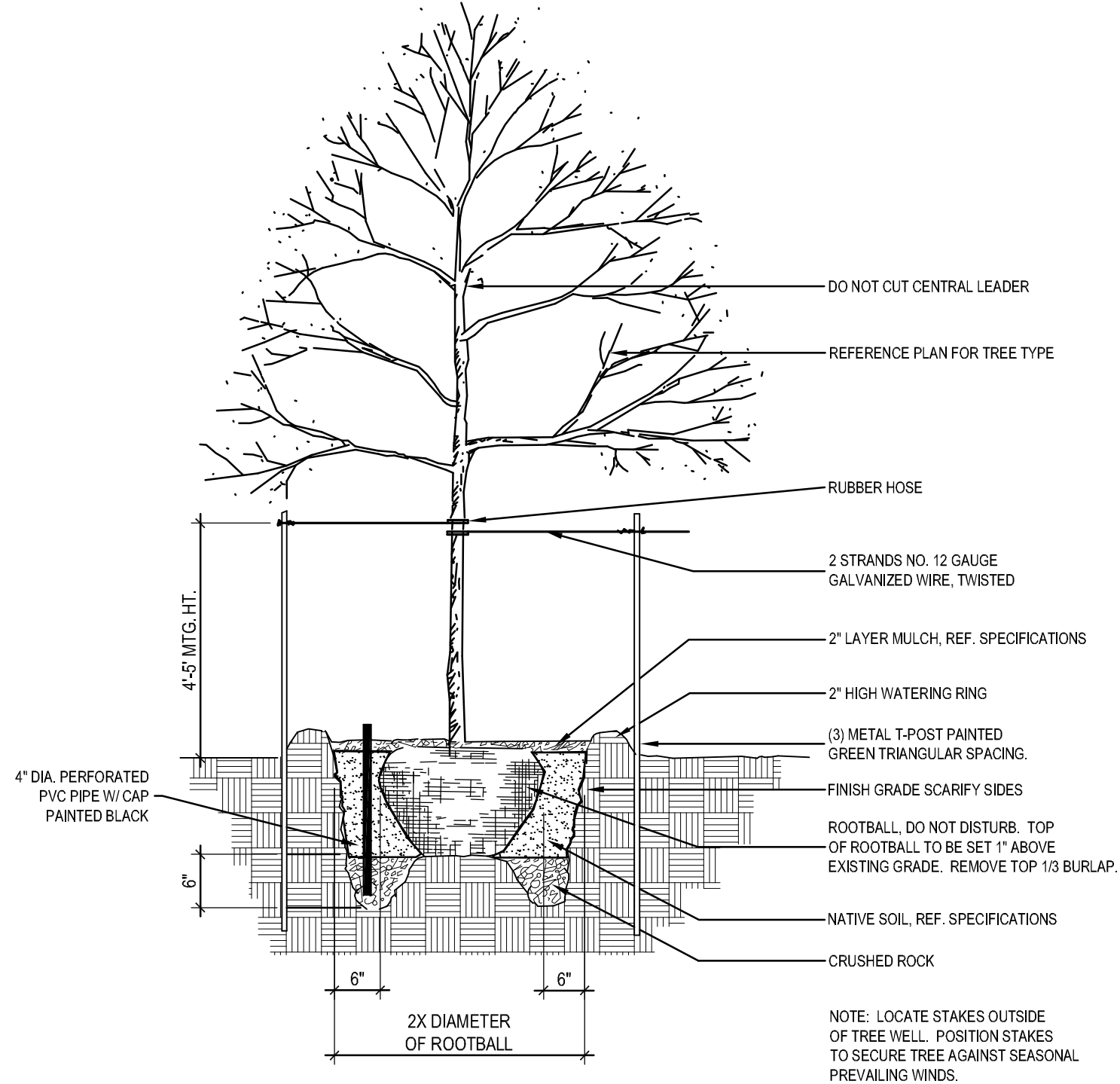
03 TREE REMOVAL DIAGRAM
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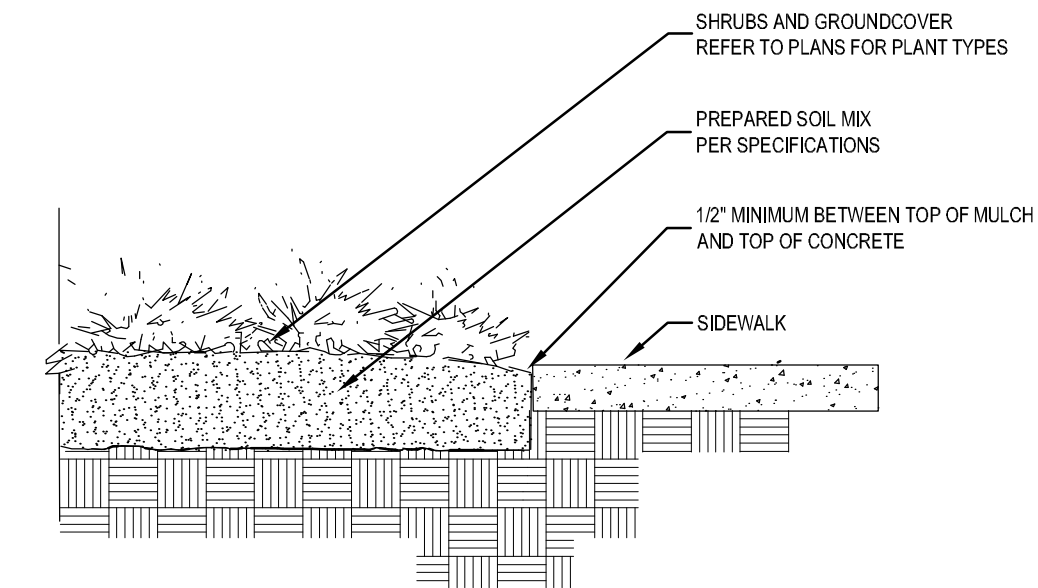
04 ROOT PRUNING DETAIL
N.T.S.



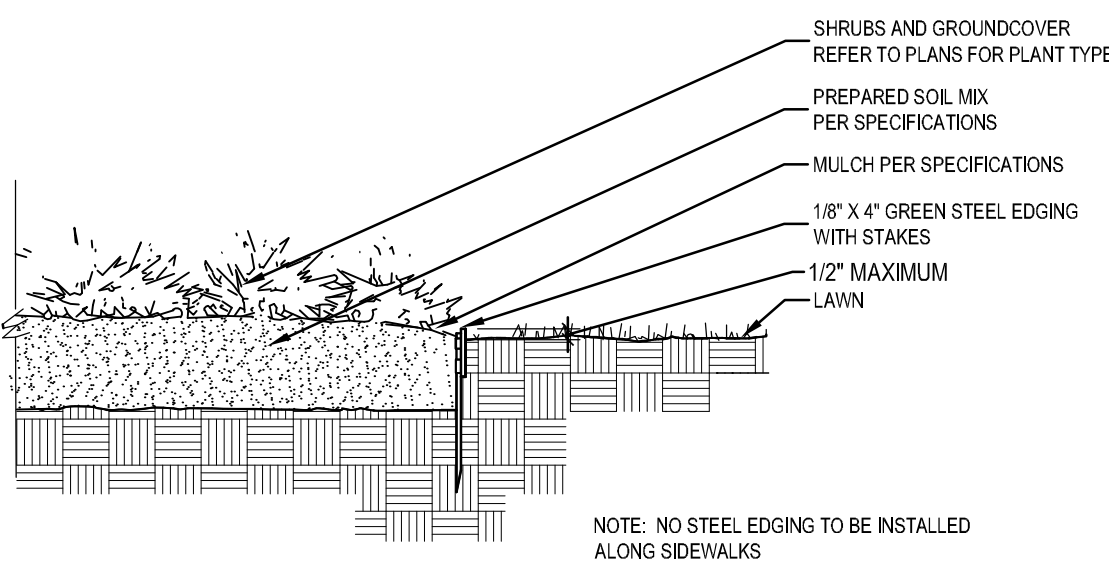
05 GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



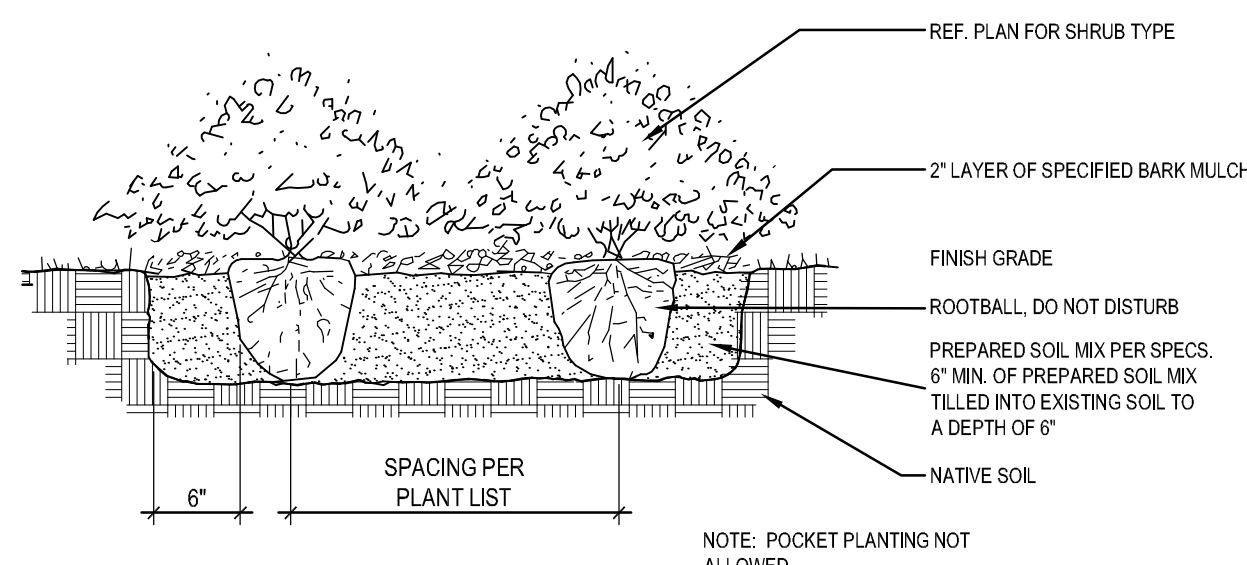
06 TREE PLANTING DETAIL
NOT TO SCALE



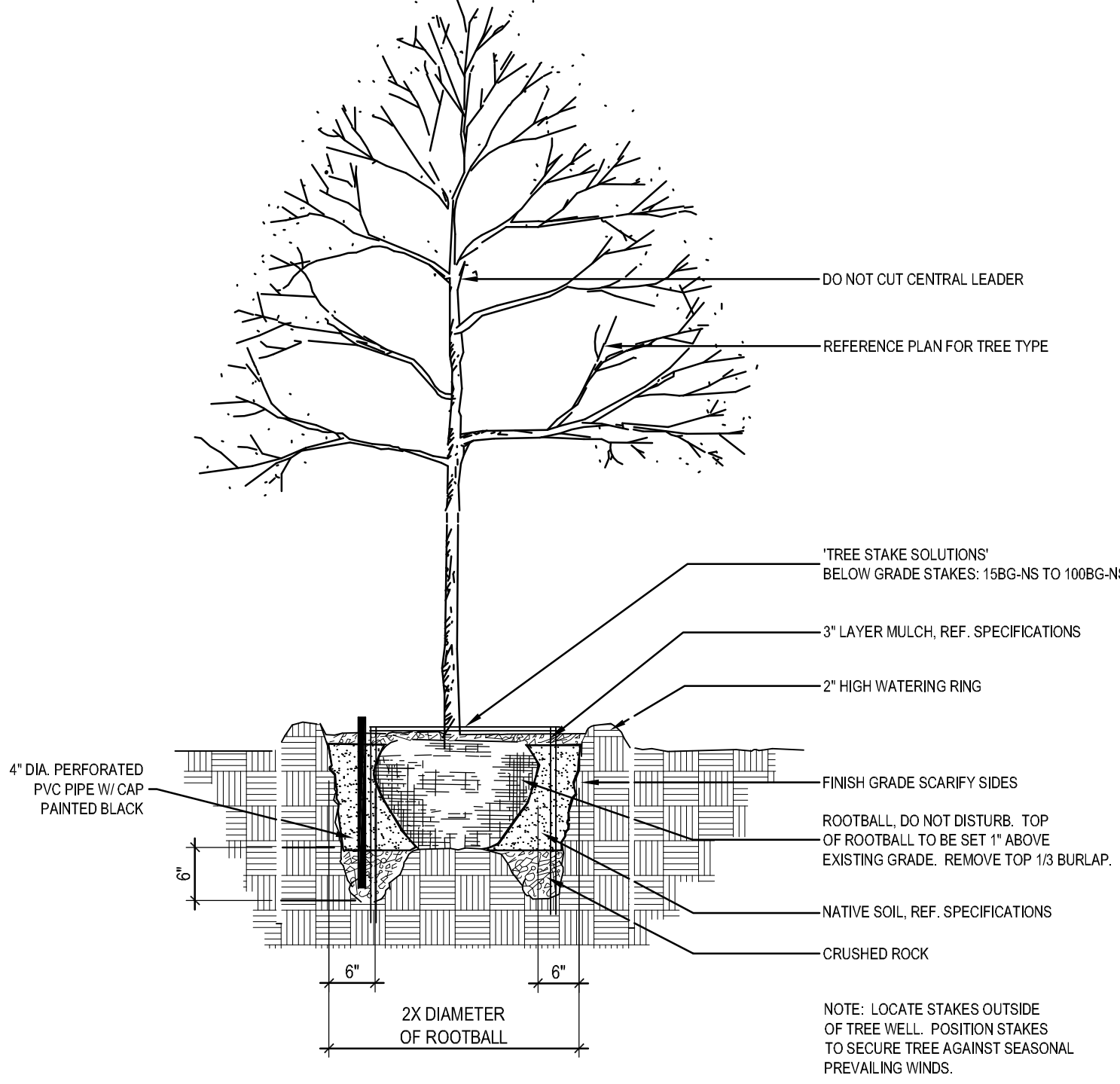
07 SIDEWALK / MULCH DETAIL
no steel along sidewalks
NOT TO SCALE



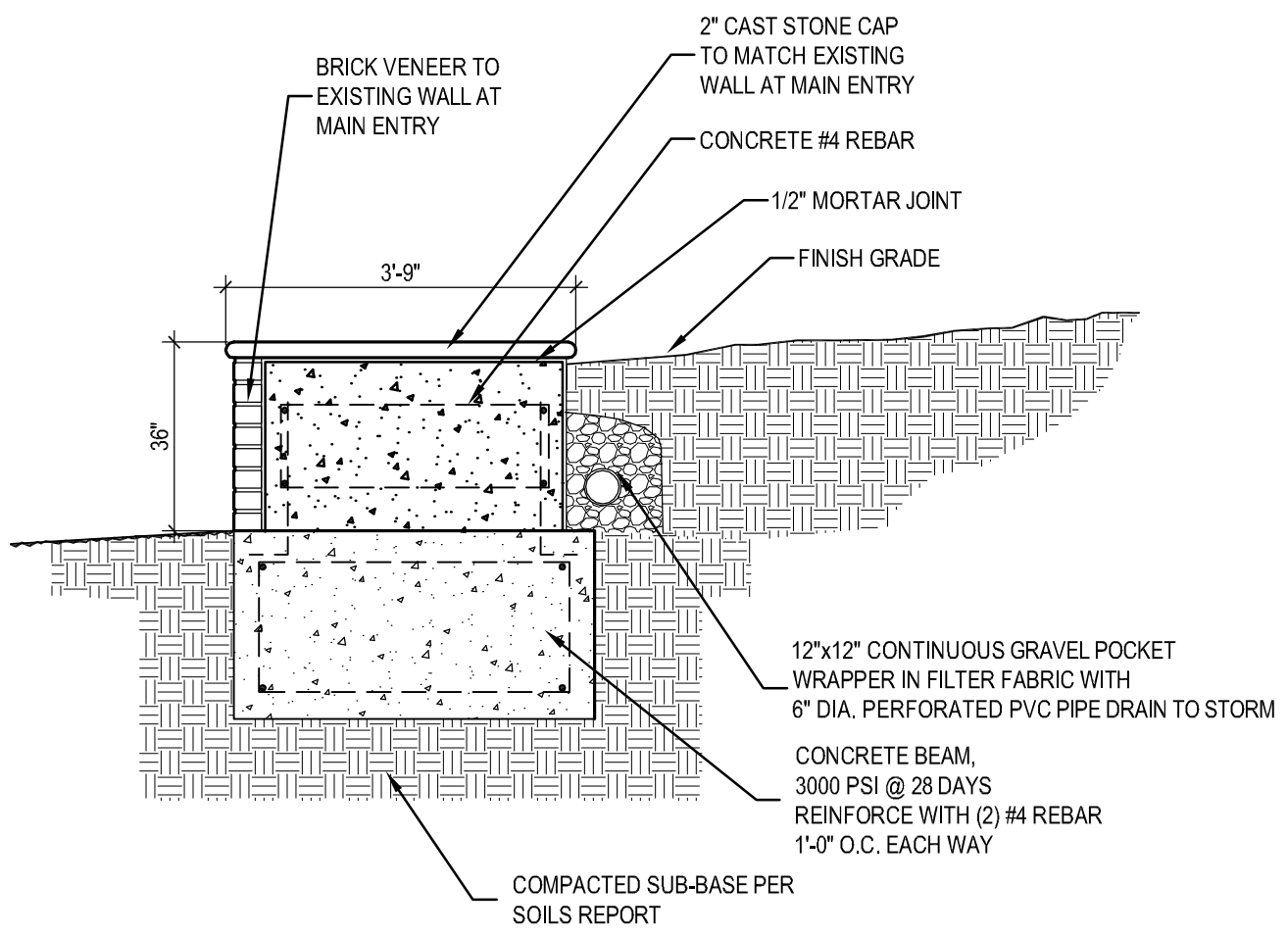
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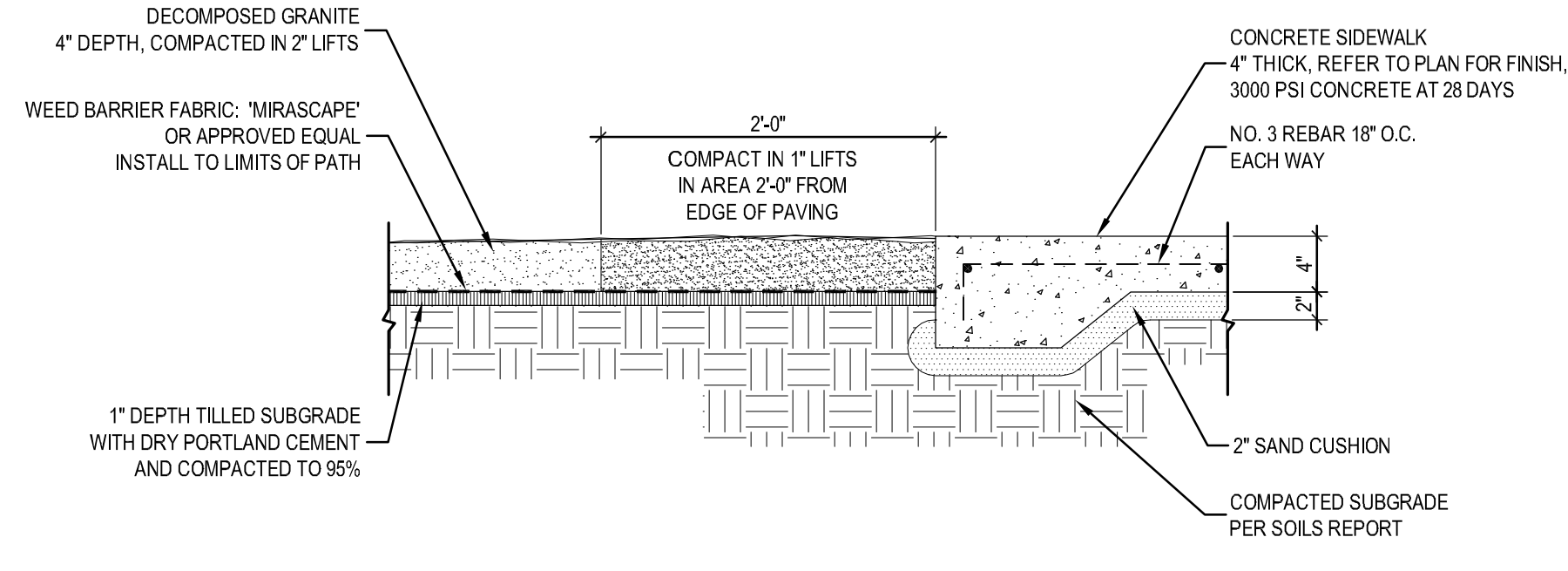
09 SHRUB PLANTING DETAIL
NOT TO SCALE



10 TREE PLANTING DETAIL
NOT TO SCALE

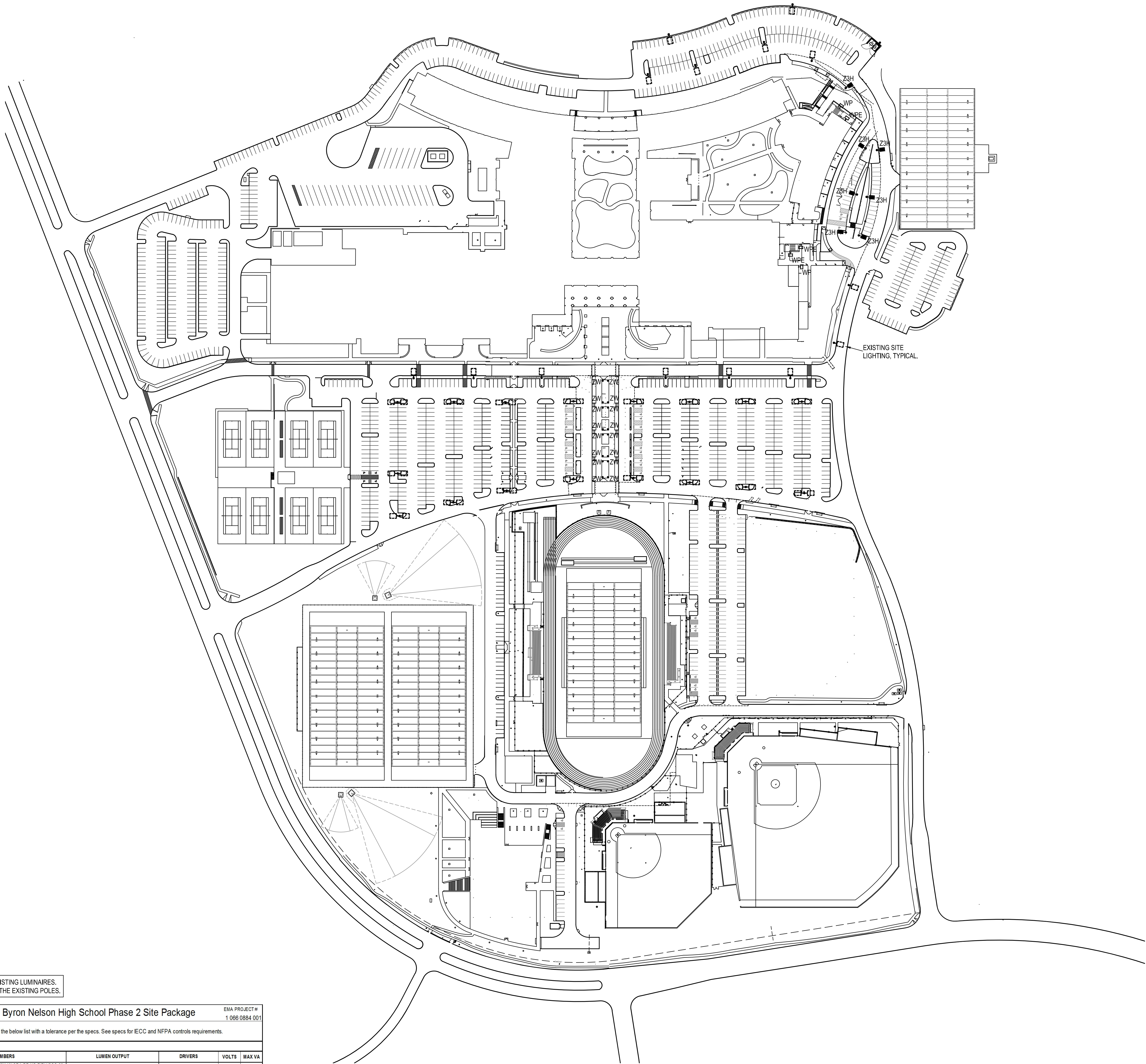


11 BRICK VENEER SEATWALL
Scale: 1/2\"/>



12 DECOMPOSED GRANITE AT SIDEWALK
Scale: 1\"/>

Exhibit N



NEW PARKING LOT AND WALKWAY LUMINAIRES ARE SIMILAR TO EXISTING LUMINAIRES.
NEW PARKING LOT AND WALKWAY POLES ARE DARK BRONZE LIKE THE EXISTING POLES.

LUMINAIRE SCHEDULE FOR Northwest ISD - Byron Nelson High School Phase 2 Site Package						
All LED luminaires are to have lumen output and Max VA values per the below list with a tolerance per the specs. See specs for IECC and NFPA controls requirements.						
TYPE	DESCRIPTION	PART NUMBERS	LUMEN OUTPUT	DRIVERS	VOLTS	MAX VA
Z3H	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH 16021 LAMPS. OPTIONS INCLUDE: COLOR. BY ARCHITECT	UNIONIA HCSX1-LED-40C-700-XXX-730-X26PA-DF-HS-PH-VSS-33-65-2M18AS POLE COLUMBIA EQUAL MCGRAW EDISON HGL50N-W-4-LED-XXSL3-3X4000-MS-DM-L40- HSS / SSS50M03B01 / TNP1 / AB1 PHILIPS EQUAL GE EQUAL	16021 LUMEN 4100K -INCLUDED	131W DRIVER -INCLUDED	480	131
WP	WALL MOUNTED ARCHITECTURAL LED WALL PACK WITH 447 LAMPS. OPTIONS INCLUDE: COLOR. BY ARCHITECT	BESA H2 375-44 SPAILDING EQUAL DECO EQUAL GARSDO EQUAL GE EQUAL	447 LUMEN 4100K -INCLUDED	8W DRIVER -INCLUDED	MULTI	9
WPE	WALL MOUNTED EMERGENCY ARCHITECTURAL LED WALL PACK WITH 447 LAMPS. OPTIONS INCLUDE: COLOR. BY ARCHITECT	BESA H2 375-44-EMERGENCY SPAILDING EQUAL DECO EQUAL GARSDO EQUAL GE EQUAL	447 LUMEN 4100K -INCLUDED	8W DRIVER -INCLUDED	MULTI	9
ZW	POLE MOUNTED HIGH PERFORMANCE LED WALKWAY WITH 1805 LAMPS. OPTIONS INCLUDE: COLOR. BY ARCHITECT	LUMINIS HCS13-1W1W-22W-37V-827-FS-PH-PA412 COLUMBIA EQUAL LUMARK EQUAL PHILIPS EQUAL GE EQUAL	1805 LUMEN 4100K -INCLUDED	22W DRIVER -INCLUDED	MULTI	22
NO SUBSTITUTES TO ANY LISTED FIXTURE WILL BE ACCEPTED						

A4 ELECTRICAL PHASE 2 SITE PLAN
1"=100'-0"

ELECTRICAL SITE GENERAL NOTES

(SOME NOTES MAY NOT BE USED)

- CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY LOCATION, CONDUCT TEST AND INSPECTIONS, COORDINATE WITH UTILITIES, OWNER'S REPRESENTATIVES, AND CHECK FOR ALL UNDERGROUND UTILITIES AND LINES BEFORE DITCHING TAKES PLACE. CONTRACTOR AND SUBCONTRACTORS PERFORMING THESE DUTIES SHALL BE RESPONSIBLE FOR ANY REPAIRS OF CUT OR DAMAGED LINES AND UTILITIES NOT SHOWN ON PLANS.
- PROVIDE SEPARATE CONTRACTORS FOR INDEPENDENT CONTROL OF THE FOLLOWING:
 - WALL PACKS
 - SOFFIT LIGHTS
 - FLAG POLE LIGHTS
 - WALKWAY LIGHTS
 - PARKING LOT LIGHTS DESIGNATED AS SECURITY LIGHTS
 - EACH INDIVIDUAL PARKING LOT

ELECTRICAL SITE PLAN NOTES

(SOME NOTES MAY NOT BE USED)

- (C1) EXISTING UTILITY TRANSFORMER TO BE REMOVED AND REPLACED. COORDINATE WITH UTILITY PROVIDER FOR MORE INFORMATION.
- (C2) PROVIDE AND ROUTE UNDERGROUND SERVICE CONDUCTORS FROM UTILITY TRANSFORMER LOAD SIDE TO PANEL ADP. REFER TO RISER DIAGRAM FOR MORE INFORMATION.
- (C3) PROVIDE AND ROUTE UNDERGROUND CONDUCTORS FROM GENERATOR TO ATS LOCATED IN SHELTER CONTROL ROOM A140. REFER TO RISER DIAGRAM FOR MORE INFORMATION.
- (C4) BORE UNDER OR SAW-CUT. PATCH TO MATCH EXISTING.
- (C5) GENERATOR TO BE ORIENTED WITH RADIATOR FACING PLAN WEST.
- (C6) OUTLET TO BE INSTALLED 18" A.F.F. INSIDE OF ENCLOSURE THAT HOUSES GENERATOR.



2218 BRYAN STREET
SUITE 200
DALLAS, TEXAS 75201
1214.283.8700
1214.283.8701
www.perkinswill.com



5646 MILTON STREET
SUITE 426
DALLAS, TEXAS 75201
1469.530.7655
www.glenn-partners.com

CONSULTANTS

CIVIL
RLK ENGINEERING, INC.
1111 WEST MAIN STREET
ALLEN, TEXAS 75013

STRUCTURAL
L.A. FUOSS PARTNERS, INC.
3333 LEE PARKWAY, SUITE 300
DALLAS, TEXAS 75219

MEP
ESTES, MCCLURE & ASSOCIATES, INC.
8008 WEST WAY
TYLER, TEXAS 75703

LANDSCAPING
SMR LANDSCAPE ARCHITECTS, INC.
1708 NORTH GRIFFIN STREET
DALLAS, TEXAS 75202

TECHNOLOGY
MOYE CONSULTING
1255 CORPORATE DRIVE, SUITE 100
IRVING, TEXAS 75038

FOOD SERVICE
JMK FOODSERVICE CONSULTING & DESIGN
3431 LAKEVIEW PARKWAY, SUITE 205
ROWLETT, TEXAS 75088

GENERAL CONTRACTOR
NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
COPELL, TEXAS 75019

REVIEW ONLY
FOR CONSTRUCTION
Sep 8, 2018

PROJECT



BYRON NELSON HIGH
SCHOOL ADDITION
AND RENOVATION
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

KEYPLAN

ISSUE CHART

ISSUE	ISSUE	DATE
Drawn		143117.000
Checked		
Approved		

TITLE

ELECTRICAL SITE PLAN

SHEET NUMBER

ES01-01

Copyright © 2018 Perkins+Will

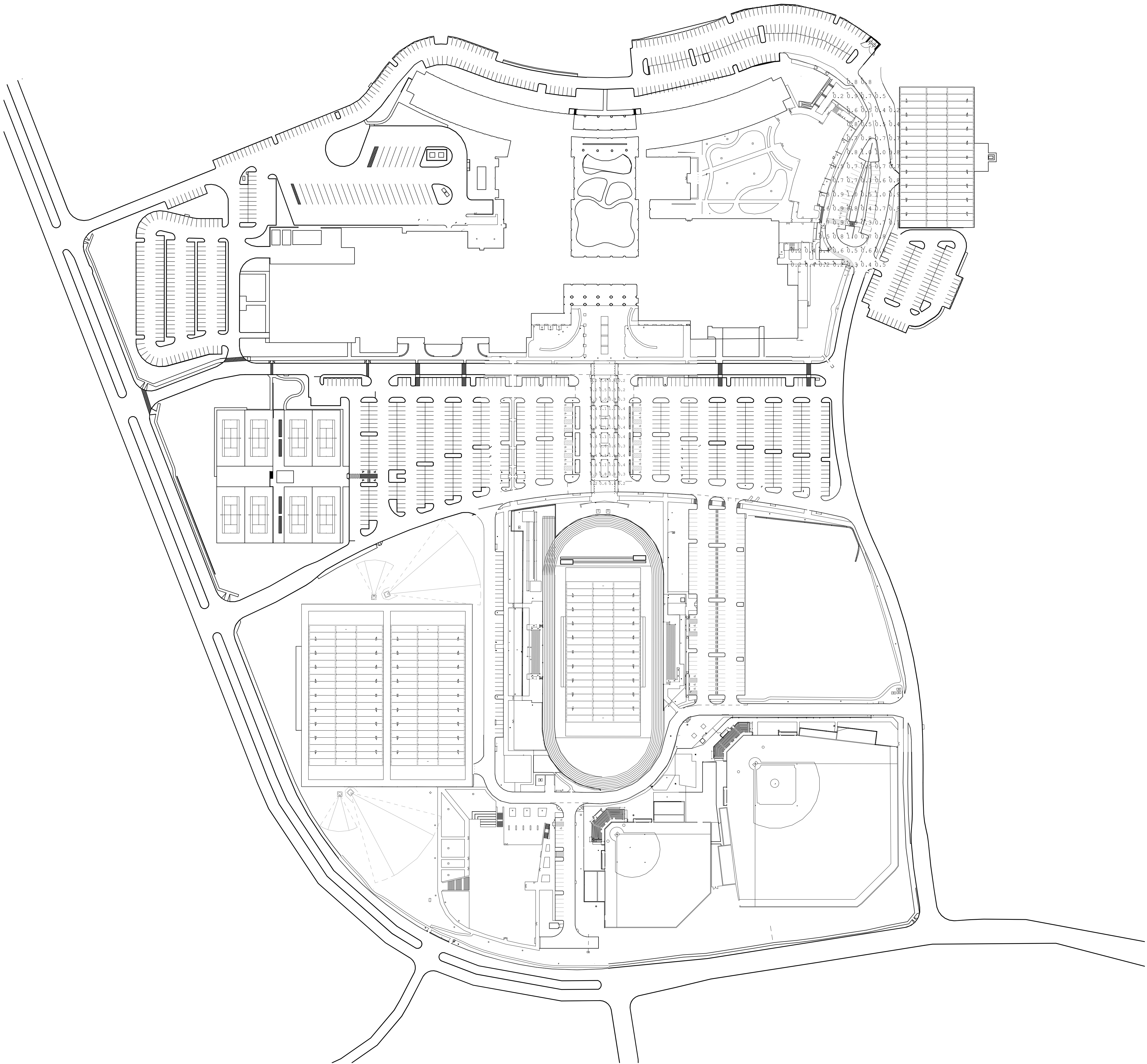
Meeting Date: Thursday, October 4, 2018

Exhibit O

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PARKING LOT EAST	Illuminance	Fc	0.62	1.0	0.2	3.10
WALKWAY SOUTH	Illuminance	Fc	0.58	1.1	0.2	2.90

PHOTOMETRIC CALCULATIONS GENERAL NOTES
(SOME NOTES MAY NOT BE USED)

- THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF TROPHY CLUB OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
- ALL CALCULATIONS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
- LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.



A4 ELECTRICAL PHOTOMETRIC PHASE 2 SITE PLAN
1"=100'-0"

JASON W. REED
TEXAS P.E. 105123
Sep 18, 2018

JAMES M. TATE III
TEXAS P.E. 102427
Sep 18, 2018

EMA
EMA Engineering and Consulting
Tyler • Austin • Houston
Phone: 1-800-933-0538
TBPE Firm Registration No. F-893
www.estesmcclure.com

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.



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REVIEW ONLY
NOT FOR CONSTRUCTION
Sep 18, 2018

PROJECT



BYRON NELSON HIGH
SCHOOL ADDITION
AND RENOVATION
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

KEYPLAN

ISSUE CHART

ISSUE	DATE
Job Number	143117-000
Drawn	
Checked	
Approved	Approver

TITLE

ELECTRICAL
PHOTOMETRIC SITE
PLAN

SHEET NUMBER

ES01-02

Legislation Details (With Text)

File #:	2018-472-T	Version:	1	Name:	
Type:	Agenda Item	Status:		Regular Session	
File created:	9/26/2018	In control:		Planning & Zoning Commission	
On agenda:	10/4/2018	Final action:			
Title:	Case O-AMD-17-004 (Artificial Turf) a. Conduct a Public Hearing regarding a Town-initiated request to amend Landscaping Regulations in Section 14.02.352(d)(5) and Section 14.02.352(g)(5) of the Trophy Club Code of Ordinances to allow artificial turf on residentially zoned properties. b. Discussion and recommendation regarding a Town-initiated request to amend Landscaping Regulations in Section 14.02.352(d)(5) and Section 14.02.352(g)(5) of the Trophy Club Code of Ordinances to allow artificial turf on residentially zoned properties.				
Attachments:	PZ Report 10.4.18.pdf Exhibit A - Surveyed Cities.pdf Exhibit B - Pros and Cons of Artificial Turf vs. Living Matter.pdf Exhibit C - General Sub-Base Construction.pdf				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Case O-AMD-17-004 (Artificial Turf)

a. Conduct a Public Hearing regarding a Town-initiated request to amend Landscaping Regulations in Section 14.02.352(d)(5) and Section 14.02.352(g)(5) of the Trophy Club Code of Ordinances to allow artificial turf on residentially zoned properties.

b. Discussion and recommendation regarding a Town-initiated request to amend Landscaping Regulations in Section 14.02.352(d)(5) and Section 14.02.352(g)(5) of the Trophy Club Code of Ordinances to allow artificial turf on residentially zoned properties.



1 Trophy Wood Drive, Trophy Club, TX 76262 | 682.237.2900 | info@trophyclub.org | trophyclub.org

To: Planning & Zoning Commission

From: Tommy Uzee, Director of Community Development

CC: Thomas M. Class Sr., Town Manager
Holly Fimbres, Town Secretary/RMO

Re: Case O-AMD-17-004
Planning & Zoning Commission Meeting, October 4, 2018

Agenda Item:

Case O-AMD-17-004 (Artificial Turf)

- a. Conduct a Public Hearing regarding a Town-initiated request to amend Landscaping Regulations in Section 14.02.352(d)(5) and Section 14.02.352(g)(5) of the Trophy Club Code of Ordinances to allow artificial turf on residentially zoned properties.
- b. Discussion and recommendation regarding a Town-initiated request to amend Landscaping Regulations in Section 14.02.352(d)(5) and Section 14.02.352(g)(5) of the Trophy Club Code of Ordinances to allow artificial turf on residentially zoned properties.

Background and Explanation:

In recent years, artificial turf has increased in popularity as residents choose to cover their front, side, and rear yards with it or simply install it for a putting green or playground.

Under Council direction, staff provided research and ordinance drafts to allow artificial turf on residential properties at the December 12, 2017 and February 13, 2018 Town Council meetings.

Data collected for the study identified that certain western United States areas created legislation that permits the use of artificial turf due to drought conditions and water conservation methods. In other areas, it is simply the aesthetic nature that creates the appeal and simultaneously eliminates irrigation needs.

The following contains the proposed additions to Section 14.02.352 entitled “Landscaping Regulations” within the Trophy Club Code of Ordinances to allow residentially zoned property owners to install artificial turf to all maintained areas that are typically sodded. Proposed language is in red.

“Section 14.02.352 Landscaping Regulations

...

(d) General standards. The following criteria and standards shall apply to landscape materials and installation:

...

(5) Ground cover. Ground covers used in lieu of grass in whole and in part shall be of live material and shall be planted in such a manner as to present a finished appearance and reasonably complete coverage within one year of planting. Artificial turf is considered ground cover in residential districts when in compliance with Section 14.02.352(g)(5).

...

(g) Requirements for residential districts. In addition to the above-listed requirements, all areas within the town which are zoned for residential use, by either “straight zoned” districts or by planned developments, shall have the following requirements.

...

(5) Artificial turf. The use of artificial turf is allowed in residential districts if the conditions below are met.

(A) Submission of a certified grading plan prepared by a registered surveyor of the State of Texas for review and approval by the Building Official.

(B) Artificial turf damaged during the repair, replacement, or addition of utilities, streets, and sidewalks will be the responsibility of the homeowner.

(C) Artificial turf shall be installed per the manufacturers’ installation specifications, and over compacted natural soil, an approved weed barrier, and a compacted aggregate base, before the final installation of the turf.”

Financial Considerations:

Not applicable.

Legal Review:

Ordinance to be reviewed by Town Attorney.

Staff Recommendation:

Staff recommends approval of the amendment to the ordinance as submitted.

Attachments:

- Exhibit A – Surveyed Cities
- Exhibit B – Pros and Cons of Artificial Turf vs. Living Matter
- Exhibit C – General Sub-Base Construction

Exhibit A

Surveyed Cities – Artificial Turf Ordinance

McKinney:

https://library.municode.com/tx/mckinney/codes/code_of_ordinances?nodeId=SPBDERE_CH146ZORE_AP_APXAPLAPLARE_SA-1APPLLI

Artificial plants or turf are expressly prohibited.

Keller:

Contact: Daniel

Section 8.08

<https://www.cityofkeller.com/home/showdocument?id=18049>

The ordinance does not specifically address artificial turf, but states, “All required landscaped open areas shall be completely covered with living plant material. Artificial landscaping materials such as wood chips and gravel may be used under trees, shrubs and other plants.”

Westlake:

https://library.municode.com/tx/westlake/codes/code_of_ordinances?nodeId=COOR_C_H98VE_ARTIILA_DIV2DEST_S98-110ACLAMA

The ordinance does not specifically address artificial turf, but states, “No artificial plants. No artificial plant material may be used to satisfy the requirements of this article.”

Argyle:

Section 14.3.67

<http://z2.franklinlegal.net/franklin/Z2Browser2.html?showset=argyleset&collection=argyle&documentid=819#819>

The ordinance does not specifically address artificial turf, but states, “All non-paved surfaces shall be completely covered with living plant material.”

North Richland Hills:

Section 114-71

https://library.municode.com/tx/north_richland_hills/codes/building_and_land_use_regulations?nodeId=PTIICOOR_CH114VE_ARTIILABURE_S114-71LARE

The ordinance does not specifically address artificial turf, but states, “No area shall be maintained with bare soil. All ground surfaces not used for buildings, sidewalks, roadways, or other impermeable surfaces shall be covered with live grass, turf, shrubbery, trees, ground cover, flowering plants or appropriate mulching and only those areas with live plant materials shall be included in the calculation for determining compliance with the percentage of lot coverage.”

Exhibit A

Grapevine:

Appendix D, Section 53

https://library.municode.com/tx/grapevine/codes/code_of_ordinances?nodeId=PTIICOO R APXDZORDNO82-73 S53LARE

The ordinance does not specifically address artificial turf, but states, "Grass areas may be sodded, plugged, sprigged or seeded except that solid sod shall be used in swales, berms or other areas subject to erosion."

Southlake:

Contact: Selena

There is no ordinance or code in place for artificial turf, and none is being considered at this time.

Colleyville:

Contact: Kelly

There is no ordinance or code in place for artificial turf, and none is being considered at this time.

Allen:

Contact: Pat Conway

There is no ordinance or code in place for artificial turf, and none is being considered at this time.

Denton:

There is no ordinance or code in place for artificial turf.

Lewisville:

There is no ordinance or code in place for artificial turf.

Addison:

There is no ordinance or code in place for artificial turf.

Richardson:

There is no ordinance or code in place for artificial turf.

Seguin:

There is no ordinance or code in place for artificial turf.

Aledo:

There is no ordinance or code in place for artificial turf.

Exhibit B

Pros and Cons of Artificial Sod Use (Summary of Online Exhibits)

Pros:

Water conservation

Eliminates the use of power equipment

- 1) Noise
- 2) Pollution

Eliminates Contaminants

- 1) Fertilizers
- 2) Pesticides

Creates a more uniform look

Has a 15 – 20 year life span

Non-Toxic, allergen relief

Cons:

Expensive to install

Hot to touch in the summer

No water seeping to compacted soil under installation

No oxygen production due to lack of living matter

Contaminants are not cleanable from artificial material

Components comprised of recycled rubber, difficult to dispose of

Carcinogens existing in the material

Softening fillers under turf require periodic replacement

Drainage patterns interrupted due to required swales and berms that direct flow are removed, creating possible damage to structures on same property as well as adjacent properties



Pros and Cons of Synthetic Grass

Pro Referral > Home Guides > Landscaping > Pros and Cons of Synthetic Grass



Home Improvement Writer: Benjamin Roussey

A lawn can be a lovely thing, pleasing to the eye and a place to chill out and unwind. But as with all things, the beauty and pleasure comes at a cost. The cost is one of time and effort as well as money. The alternative to natural grass is the synthetic option. First created in the 1960s, synthetic grass was initially intended for use in sporting arenas like football stadiums where the maintenance of natural grass was costly and required investment in manpower and special equipment. Over time, its use has spread to homes

because of the many advantages it offers. However, there are also downsides to synthetic grass.

1. The Need for Synthetic Grass

As a homeowner you are proud of the home in which you live and want it to both look its best as well as offer you and your family the comforts you need. The lawn is an integral part of both the look and the comfort. If you are one of those who has a green thumb and enjoys spending time caring for your lawn, watering it, cutting the grass and pulling out weeds, than natural grass is right for you. However, if your aim is to enjoy your lawn without having to put in any effort, then synthetic grass is the way to go. Do not think that pulling up your lawn and replacing it with synthetic grass will solve all your problems. For all the convenience you gain, you lose some of the advantages of natural grass.

While synthetic grass is the best option for sporting applications and events, the case for its use on your property is not quite as clear cut.

An article titled "Natural Versus Artificial Turf- an Economical Alternative" by William B. Davis in California Turfgrass Culture, published by the University of California, found that while synthetic grass is the best option for sporting applications, the case for its use on personal properties is not quite as clear cut.

You can find details of synthetic grass manufacturers and suppliers as well as landscapers in your area so you can contact them to discuss your lawn needs and the benefits and negative points of synthetic grass.

2. The Advantages of Synthetic Grass

1. Synthetic grass, once installed requires little in the way of maintenance – no watering or mowing is required.
2. You save on the cost of water and buying and operating a lawn mower.
3. No expensive fertilizers and weed killers need be bought.
4. Because you do not need to use chemicals to grow or protect the grass, you are not adding to pollution levels and affecting the environment on an ongoing basis.
5. You will not have to spend time pulling out weeds.
6. Synthetic grass is long lasting and you will not have to incur the expense or hassles of period replanting that natural grass will require.
7. Synthetic grass offers excellent drainage so after rain or the use of water to wash it, the grass it will dry quickly.
8. The good drainage also means that you don't have to worry about puddles of water collecting and lasting for days and then leaving patches of mud for the unwary to step in.
9. Play sports on the lawn will not damage the grass.
10. Synthetic grass always looks perfectly manicured so you will never be embarrassed by an unkempt lawn.

3. Disadvantage of Synthetic Grass

If all these solid reasons sound like they make an airtight case for the use of synthetic grass, the following list of disadvantages will help you balance the picture. After all, nothing is really perfect.

1. The upfront cost of installing synthetic grass can be very high, making it financially impractical.

2. There is normally a rubber cushion below the surface to provide softness and bounce. This may require occasional re-filling.
3. Synthetic grass can become unpleasantly hot in summer.
4. There are fears that the chemicals used in the manufacture of synthetic grass can be harmful to the health. Although manufacturers say that they meet health and safety standards, the debate remains inconclusive.
5. Synthetic grass is not natural grass – it cannot offer the special scent of wet earth and grass or the sweet smell of freshly cut grass.

4. The Choice is Yours

There are arguments for and against synthetic grass. You should weigh the pros and cons carefully, with your objectives and needs in mind before making a final decision.

What Are the Disadvantages of Using Synthetic Grass?

The idea of putting away the mower forever sounds appealing, but synthetic grass comes with its own set of problems. Artificial grass is often touted for hot climates with low rainfall where grass struggles to grow without lots of watering. Before you tear up your existing lawn, understand the potential drawbacks of the synthetic grass.



Ad



The Synthetic Grass Store

Contractor & DIY grass only starting at \$.99 Artificial

Turf & Putting greens

syntheticgrassstore.com

Cost

A synthetic lawn is expensive to install. Costs include grass removal, ground preparation and materials. Artificial turf systems come with the option of drainage systems and irrigation to control the temperature of the grass, which increase the cost. The artificial grass costs from \$8 to \$14 per square foot, noted Mark Radeke of Easy Turf in a 2010 article featured on KPBS, a public radio station in San Diego, California. If you have a large yard, the overall cost of the project adds up quickly.

Temperature

Real grass has a cooling effect when the air temperature is high. Artificial grass lacks this cooling quality. The grass itself may become hotter than the air and can make the surrounding air feel hotter. A hidden water system can keep the synthetic grass cooler to the touch so it feels more comfortable on your feet. The material used as padding beneath the synthetic grass affects the temperature. Special products in the padding keep grass temperatures lower. A light color in the artificial grass blades is another way to cool the lawn.

Runoff

Real grass and natural landscaping materials allow rainwater to seep down into the soil. Synthetic turf is typically designed to allow water to soak through, but it may not allow all rainwater to seep down into the soil, especially if the soil underneath becomes compacted. The storm water runoff carries debris into the storm sewers, where water sources can become polluted.

Materials

You may have concerns about the material used to make synthetic grass. Real grass is a living ground cover that produces oxygen as it grows. The environmental impact of artificial grass varies. The padding is often made of recycled tires, which keeps them out of the landfill, but the petroleum-based artificial grass materials are far from natural. Research about the safety of using this artificial materials on the lawn is limited, so it's up to you to decide for yourself if the grass is a healthy option for covering the yard. Padding material not made from rubber is available if you have concerns about covering your lawn in the material.

Upkeep

You won't have to mow anymore, but your synthetic grass still requires care to keep it looking attractive. You need to sweep or spray the grass to remove debris that falls onto the surface. Sanitation of the lawn is also a concern. Everything from blood to your dog's poop contaminate the artificial grass. While contaminants rinse off real grass, synthetic grass doesn't have the same trait. You will need to clean up any messes that could potentially be a health hazard.

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We are the Authority on Artificial Grass!

[Our Rating Criteria](#) [Brands](#) [How to Install Artificial Grass](#)

[Artificial Grass vs Real Grass](#)

About ArtificialGreens.org

This is a project to help you learn and gain a better understanding of the rising trend of artificial grasses. You will find comparisons, reviews, answers to your burning questions and more than you ever wanted to know about artificial turfs and grasses!

Artificial Grass Reviews

[EverGreen TuffTurf](#)
[Kloud City](#)
[Pet Zen Garden](#)
[PreGra](#)
[SynLawn](#)

Pros & Cons of Artificial Grass

... and the day has come when a synthetic product is greener than its natural equivalent. While the question of whether artificial grass is *actually* as environmentally friendly as its manufacturers claim, there *are* some tried and true reasons lawns everywhere are sporting the lush, year-round gorgeousness of

Our Recommendations

[Best Artificial Grass for Dogs](#)
[Artificial Grass vs Real Grass](#)
[Best Artificial Grass Rugs](#)
[Best Artificial Grass for Cats](#)
[Artificial Grass for Putting Greens](#)
[Best Types of Artificial Grass Sprays](#)
[Best Artificial Grass at Home Depot](#)

Frequently Asked Questions

[How Much Does Artificial Grass Cost?](#)
[How to Install Artificial Grass?](#)
[How to Maintain Artificial Grass?](#)
[Can Artificial Grass Cause Cancer?](#)
[Pros & Cons of Artificial Grass](#)
[Can Artificial Grass be Recycled?](#)
[Types of Artificial Grass Infills](#)
[Installing Plants into Artificial Grass](#)
[Where can I Lay Artificial Grass?](#)
[Can I Wear Shoes/Cleats on Artificial Grass?](#)
[Types of Artificial Grass/Turf?](#)
[How to Lay Artificial Grass on Soil?](#)

Synthetic
GreenScapes

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fake turf, only *one*
of which is the
fact that it looks
natural enough to
fool even the
most intrusive
neighbor.

One of the
disadvantages of
replacing your
lawn with artificial
grass however, is
the initial cost of
installation, which
can be seen as
an investment
once you make a
quick pros and
cons list- better
yet, check out
ours!

The Pros: Advantage s of a Synthetic Lawn

1. *Save
Time,
Money
& Water*

Saving water and time (also money, if you outsource labor) on lawn maintenance are two of the top advantages home and business owners cite as the reason for replacing their lawns. These reasons are not unfounded, since statistics show that synthetic turf saves up to 55 gallons of water (*per square foot*) a year and that the average natural lawn owner will spend 2.8 hours a *week* on lawn maintenance. This is more than farmers spend on growing crops like sugarcane, corn, or even rice. This is some serious lawn labor.

While synthetic lawns are not one-hundred percent maintenance free, keeping them clean is a simple matter of raking or rinsing with water (if you have pets) occasionally.

2. *Permanent Perfection*

In some places, the maintenance of a lawn includes much more than time & money- there's also the frustration of a patchy, discolored lawn that hardly ever *shows* the maintenance cost.

Poor soil, pests, an uneven terrain and irregular

shade can create
a lawn that is
most definitely
not greener and
since lawns serve
an almost
exclusively
aesthetic
purpose, why not
opt for a really
good-looking
lawn and save
some time,
money, and water
while you're at it?

The main reason
most people are
completely
flabbergasted
when they find
out a lawn they've
been admiring is
actually fake is
the bright green
legacy of
AstroTurf. The
first generation of
the stuff *clearly*
looked (also
smelled and felt)
like plastic, but
the advances
made since then

not only make
artificial grass
look uncannily
real, but also
function like
natural grass.

Available in a
variety of styles
(bluegrass, bent
grass, pet grass,
winter-rye and
fresh-cut, etc.)
lengths, weights,
thicknesses, color
combinations and
even thatch or
moss additions
(to amp up the
realness), you
can have a truly
beautiful lawn
year-round.

3. *Synthetic Turf is Water Permeable*

Artificial grass
functions like real
grass in that it is
permeable to
water (and other

liquids such as dog urine), but in a convenient way whereby mud is never an issue.

Synthetic turf is made with a lining material with thousands of tiny little holes that allow the grass to drain, preventing runoff and nasty puddles, so I guess we can add "clean floors & carpet" here. Another great thing about the water permeable feature is that grass dries quicker.

4. *Immunity to Pests & Bacteria*

Artificial grass is not natural, which means that ticks, fleas, bacteria, and other

crawling critters
find it to be an
unattractive host-
which is an
amazing relief if
you have children
and/or pets.

5. Artificial Turf Is a Friend to the Environ ment

An artificial lawn
can coexist with
natural plants and
trees; it creates
no fumes or spills
from gas-
powered
lawnmowers;
produces no
environmental
damage or safety
hazard from
fertilizers and
pesticides, and
saves 55 gallons
of annual
household water
consumption.

A tell-tale sign of something environmentally *unfriendly* is its inability to coexist with something organic. Studies have found that artificial turf is non-toxic to humans, pets, and organic plants. It is entirely possible (by installing drip systems) to have a synthetic lawn and real trees and plants living side by side.

Another huge red flag waved by sprawling real-grass lawns are the lawn-mowers. These machines consume 17 million gallons of fuel annually and lawn mowers create a *lot* of pollution; the push-kind can

rack up in one hour, the pollution of 11 cars combined, while a riding mower emits the equivalent of 34 cars, also within one hour.

Pesticides, weed killers, and fertilizers are yet another area of concern. Home-owners alone (we're not talking about farmers) are using 70 million pounds of herbicides and insecticides and an additional 3 million tons of synthetic fertilizers annually. While the safety concerns from pure contact with treated natural grass are as inconclusive as concerns for

synthetic fillers in artificial grass, the *real* concern is coming from what these chemicals do when they make their way into water systems- and between 40 and 60 percent are currently doing so.

While water consumption is a popular reason people are making the switch to artificial grass, it is actually one of the smallest contributors to the environmental impact of growing and maintaining a natural lawn. The others have been listed- an artificial turf creates zero of these concerns.

The Cons: Disadvantages of a Synthetic Lawn

1. *The Cost of Installation*

Installing artificial grass involves a lot of expenses; from delivery, the cost of labor, dumping fees and then the cost of a good-quality turf, you're looking to spend between \$7 and \$25 per square foot.

While the average homeowner will plunk down a few thousand dollars for a full lawn, keep in mind that this is a long-lasting investment (most artificial

turfs last between 15-20 years, and higher qualities up to 30 years). Also, given that you are saving on a lawn-mower (or lawn service), a sprinkler system (plus water costs), and fertilizers, weed-killers, and pesticides, you will make up that cost within 3-5 years.

2. *Anti-shock Layer and Infill Must be Replaced*

Artificial grass requires very little maintenance after installation, but if you installed an anti-shock layer (which is what

makes it cushiony to the touch) and/or infill (for stability), those features will need to be replaced every few years.

Residential lawns usually require an anti-shock layer, which is a material that is placed right underneath the turf. This layer gives the lawn a natural feel and is recommended for people with children and/or pets. Infill is also an extra, used to stabilize the turf and increase the efficiency of its draining capabilities. Infill also helps keep artificial grass looking lush and perky.

Since these materials lay near

the surface of the turf and serve a comfort function, they must be replaced/ refilled a few times throughout the turf's lifetime.

3. *Should You be Concerned About Chemical Fumes?*

Scandalous and terrifying reports have been published claiming that artificial grass, since it is synthetic, contains harmful chemicals that may cause cancer or other illnesses. These claims are not backed by scientific

evidence and studies have shown synthetic turf to be less harmful to the human body than what we encounter on a regular, day-to-day basis in our normal environment.

4. *It Can Get Hot in Direct Sunlight*

Artificial grass is notorious for hotness- not in a good way, but it's getting better than its pioneer days as a blazing green carpet made of molten plastic. This is precisely where this the ambiguity arises from this argument- the newer stuff is

accounting for
this defect.

In direct sunlight,
the surface of
artificial grass can
range between
120 and 165
degrees, which is
significantly hotter
than asphalt. That
being said,
synthetic turf
does cool really
fast and is not
affected when it is
laid in areas with
ample shade.
Also, since this
has been one of
the most criticized
features of the
product
(especially since
it is used widely
in professional
sports),
manufacturers
are now making
artificial grass
with cooling
technology.

5. *Artificial Grass is*

Not Natural

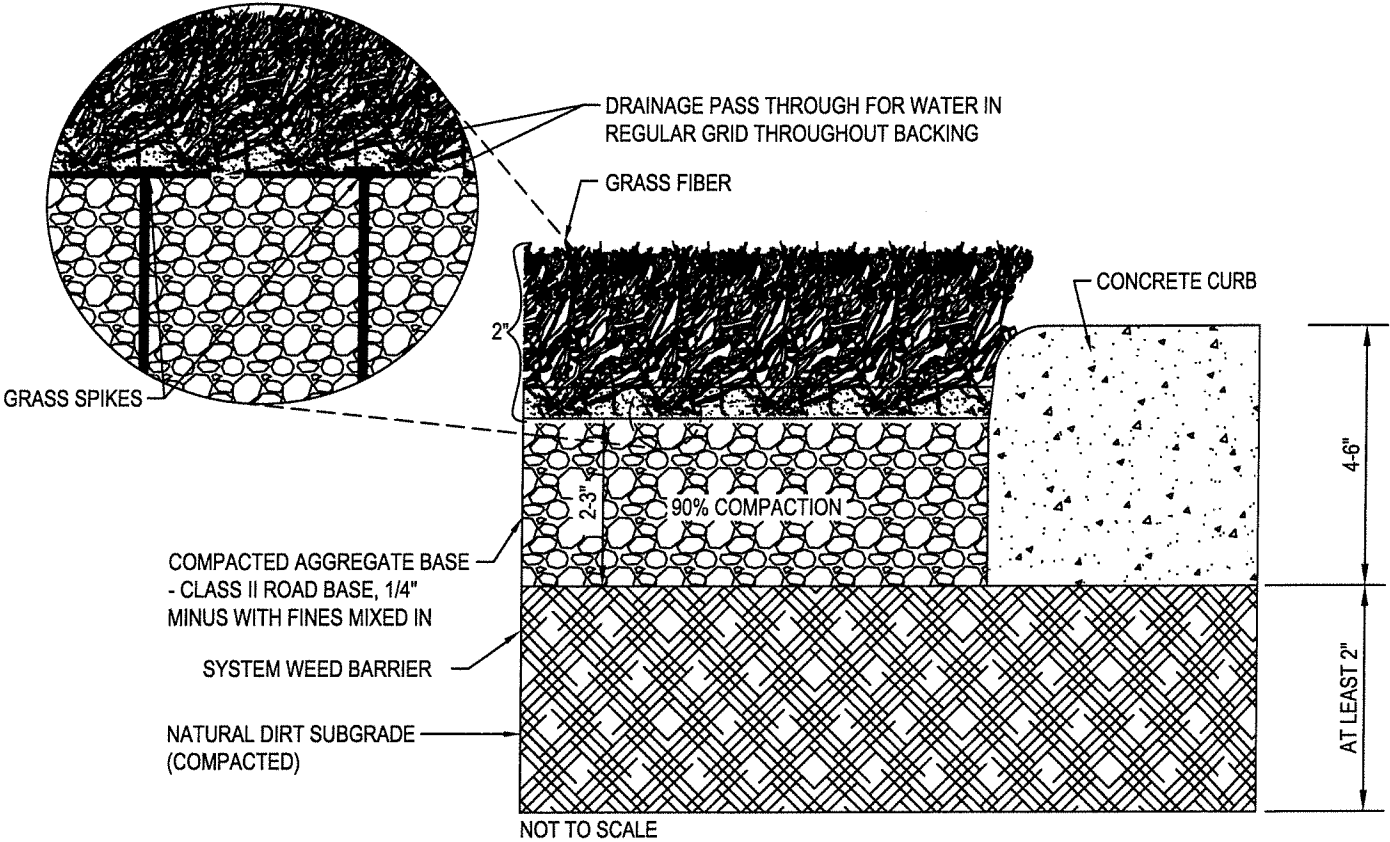
The last disadvantage of replacing your natural lawn with artificial grass is that you're replacing something natural with something that is in all simplicity, *fake*. This means that if you were fond of the smell of freshly mowed grass or watching your cat (or dog) chew on the crunchy green blades, these experiences are not an option for someone with a synthetic lawn.

There's also the question of organic material. This can be both an advantage: no fleas, ticks, ants,

snakes, etc., or a
disadvantage: the
guilt you feel
when you think
about all the
earthworms you
dislocated.

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Exhibit C



SPECIFICATIONS

YARN TYPE: GRASS ZONE
YARN TYPE: THATCH ZONE
ROLL WIDTH:
MAXIMUM DRAIN RATE:

POLYETHYLENE
TEXTURIZED POLYPROPYLENE
15' WIDTH
>30 INCHES PER HOUR

NOTE: THE GRASS MUST BE INSTALLED AND SEAMED WITH ADJACENT PIECES RUNNING IN THE SAME DIRECTION

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH SPECIFICATIONS BY FACTORY AUTHORIZED INSTALLERS.
2. DO NOT SCALE DRAWINGS.

Legislation Details (With Text)

File #: 2018-475-T **Version:** 1 **Name:**
Type: Agenda Item **Status:** Regular Session
File created: 9/26/2018 **In control:** Planning & Zoning Commission
On agenda: 10/4/2018 **Final action:**
Title: Review and approve the minutes of the September 6, 2018 Planning & Zoning Commission meeting.
Attachments: [PZ Minutes 09.6.18 DRAFT.pdf](#)

Date	Ver.	Action By	Action	Result
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Review and approve the minutes of the September 6, 2018 Planning & Zoning Commission meeting.

This record is currently unavailable.

Thursday, October 4, 2018

Legislation Details (With Text)

File #: 2018-476-T **Version:** 1 **Name:**
Type: Agenda Item **Status:** Regular Session
File created: 9/26/2018 **In control:** Planning & Zoning Commission
On agenda: 10/4/2018 **Final action:**
Title: Town Planner Updates; update on previous cases heard by the Commission; Discussion on current Town development issues and development codes.

Attachments:

Date	Ver.	Action By	Action	Result
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Town Planner Updates; update on previous cases heard by the Commission; Discussion on current Town development issues and development codes.