



Town of Trophy Club

Meeting Agenda

Thursday, July 5, 2018

1 Trophy Wood Drive
Trophy Club, Texas 76262

Planning & Zoning Commission

Thursday, July 5, 2018

7:00 PM

Council Chambers

CALL TO ORDER AND ANNOUNCE A QUORUM

CITIZEN PRESENTATIONS

Citizens are allowed four (4) minutes to address the Commission regarding an item over which the Commission has policy or oversight authority as provided by Texas law, the ethics order, or other policy order.

REGULAR SESSION

1. [2018-319-T](#)**Case PD-AMD-18-001 (BNHS Addition Ph. 1)**

- a. Conduct a public hearing regarding a request to amend Ordinance No. 2007-22 P&Z, Planned Development District No.28, in order to provide a site plan package and revised language in the Development Standards for a proposed fieldhouse that will also serve as a storm shelter, and a proposed parking lot addition, at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.
- b. Discussion and recommendation regarding a request to amend Ordinance No. 2007-22 P&Z, Planned Development District No. 28, in order to provide a site plan package and revised language in the Development Standards for a proposed fieldhouse that will also serve as a storm shelter, and a proposed parking lot addition, at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.

Attachments:[PZ Report 7.5.18.pdf](#)[Exhibit A - Legal Description.pdf](#)[Exhibit B - Zoning Exhibit.pdf](#)[Exhibit C - Redlined Development Standards.pdf](#)[Exhibit D - Overall Site Plan.pdf](#)[Exhibit E - Site Plan Ph 1.pdf](#)[Exhibit F - Landscape Key Sheet.pdf](#)[Exhibit G - Tree Removal Plan.pdf](#)[Exhibit H - Landscape Plan.pdf](#)[Exhibit I - Landscape Details.pdf](#)[Exhibit J - Elevations & Signage.pdf](#)[Exhibit K - Renderings & Site Visibility.pdf](#)[Exhibit L - Exterior Electrical Plan.pdf](#)[Exhibit M - Photometric Plan.pdf](#)2. [2018-320-T](#)**Case TUP-18-008 (BNHS Construction Trailer)**

Discussion and recommendation regarding a Resolution approving a request for a Temporary Use Permit to allow a construction trailer at Byron Nelson High School, generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.

Attachments:[PZ Report 7.5.18.pdf](#)[Exhibit A - Site Layout.pdf](#)[Exhibit B - Construction Trailer.pdf](#)[Exhibit C - Construction Fencing.pdf](#)[Exhibit D - Storage Box.pdf](#)

3. [2018-321-T](#) Review and approve the minutes of the June 7, 2018 Planning & Zoning Commission Meeting.
Attachments: [PZ Minutes 06.07.2018.pdf](#)
4. [2018-294-T](#) Town Planner Updates; discussion on current Town development issues and development codes.

ADJOURN

***THE COMMISSION MAY CONVENE INTO EXECUTIVE SESSION TO DISCUSS POSTED ITEMS AS ALLOWED BY THE TEXAS OPEN MEETINGS ACT, TEXAS LOCAL GOVERNMENT CODE 551.071.**

Notice is hereby given that a quorum of the Town Council may be in attendance at this meeting.

CERTIFICATION

I certify that the above notice was posted on the bulletin board at Trophy Club Town Hall, 1 Trophy Wood Drive, Trophy Club, Texas, on June 29, 2018 by 5:00 P.M. in accordance with Chapter 551, Texas Government Code.

**Julie Smestad
Administrative Specialist**

If you plan to attend this public meeting and have a disability that requires special needs, please contact the Town Secretary's Office at 682-237-2900, 48 hours in advance and reasonable accommodations will be made to assist you.

I certify that the attached notice and agenda of items to be considered by this Board was removed by me from the bulletin board at Trophy Club Town Hall, 1 Trophy Wood Drive, Trophy Club, Texas, on the _____ day of _____, 2018.

_____, Title: _____

Legislation Details (With Text)

File #:	2018-319-T	Version:	1	Name:	
Type:	Agenda Item	Status:		Regular Session	
File created:	6/29/2018	In control:		Planning & Zoning Commission	
On agenda:	7/5/2018	Final action:			
Title:	<p>Case PD-AMD-18-001 (BNHS Addition Ph. 1)</p> <p>a. Conduct a public hearing regarding a request to amend Ordinance No. 2007-22 P&Z, Planned Development District No.28, in order to provide a site plan package and revised language in the Development Standards for a proposed fieldhouse that will also serve as a storm shelter, and a proposed parking lot addition, at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.</p> <p>b. Discussion and recommendation regarding a request to amend Ordinance No. 2007-22 P&Z, Planned Development District No. 28, in order to provide a site plan package and revised language in the Development Standards for a proposed fieldhouse that will also serve as a storm shelter, and a proposed parking lot addition, at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.</p>				
Attachments:	<p>PZ Report 7.5.18.pdf</p> <p>Exhibit A - Legal Description.pdf</p> <p>Exhibit B - Zoning Exhibit.pdf</p> <p>Exhibit C - Redlined Development Standards.pdf</p> <p>Exhibit D - Overall Site Plan.pdf</p> <p>Exhibit E - Site Plan Ph 1.pdf</p> <p>Exhibit F - Landscape Key Sheet.pdf</p> <p>Exhibit G - Tree Removal Plan.pdf</p> <p>Exhibit H - Landscape Plan.pdf</p> <p>Exhibit I - Landscape Details.pdf</p> <p>Exhibit J - Elevations & Signage.pdf</p> <p>Exhibit K - Renderings & Site Visibility.pdf</p> <p>Exhibit L - Exterior Electrical Plan.pdf</p> <p>Exhibit M - Photometric Plan.pdf</p>				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Case PD-AMD-18-001 (BNHS Addition Ph. 1)

- a. Conduct a public hearing regarding a request to amend Ordinance No. 2007-22 P&Z, Planned Development District No.28, in order to provide a site plan package and revised language in the Development Standards for a proposed fieldhouse that will also serve as a storm shelter, and a proposed parking lot addition, at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.
- b. Discussion and recommendation regarding a request to amend Ordinance No. 2007-22 P&Z, Planned Development District No. 28, in order to provide a site plan package and revised language in the Development Standards for a proposed fieldhouse that will also serve as a storm shelter, and a proposed parking lot addition, at

Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.



1 Trophy Wood Drive, Trophy Club, TX 76262 | 682.237.2900 | info@trophyclub.org | trophyclub.org

To: Planning & Zoning Commission

From: Lisa Payne, Town Planner

**CC: Thomas M. Class Sr., Town Manager
Holly Fimbres, Town Secretary/RMO**

**Re: Case PD-AMD-18-001
Planning & Zoning Commission Meeting, July 5, 2018**

Agenda Item:

Case PD-AMD-18-001 (BNHS Addition Ph 1)

- a. Conduct a public hearing regarding a request to amend Ordinance No. 2007-22 P&Z, Planned Development District No. 28, in order to provide a site plan package and revised language in the Development Standards for a proposed field house that will also serve as a storm shelter, and a proposed parking lot addition, at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.
- b. Discussion and recommendation regarding a request to amend Ordinance No. 2007-22 P&Z, Planned Development District No. 28, in order to provide a site plan package and revised language in the Development Standards for a proposed field house that will also serve as a storm shelter, and a proposed parking lot addition, at Byron Nelson High School, within the Northwest Independent School District boundaries, on a property containing approximately 93 acres of land and generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.

Background and Explanation:

PD-28's Development Standards require site plan packages to be approved by Town Council, upon recommendation of the Planning & Zoning Commission, through an amendment to the Planned Development. PD-28 was created by Ordinance No. 2007-11 P&Z, which was amended by Ordinance No. 2007-22 P&Z to adopt a site plan package for the property on which Byron Nelson High School (BNHS) sits. Northwest Independent School District (NISD) and RLK Engineering would like to amend the ordinance to provide a site plan package and revised Development Standards for a proposed field house and to expand the main parking lot that

services the high school. This request is in reference to Phase 1 of NISD's planned construction at BNHS. Phase 2 will be proposed at a later date and will include a large addition to the high school building and additional parking.

Byron Nelson High School has an under-used softball field and baseball field that Northwest ISD feels could serve a greater need as a field house that doubles as a storm shelter large enough to hold everyone on the BNHS campus, and as an expanded lot to provide more parking for the growing number of students. The two-story field house is over 42,000 square feet and is proposed to be located on the softball field site, directly adjacent to the intersection of Bobcat Boulevard and Marshall Creek Road. It will be located behind the thirty foot (30') building setback line, which will put it about forty feet (40') away from the street.

The building, which is thirty-eight feet (38') tall at its highest point where the front of the field house faces the high school, slopes down to approximately twenty-two feet (22') as it nears Bobcat Boulevard. Since the high school is the primary building on the property, the field house can be categorized as an accessory structure which is limited to one-story in height in the PD-28 district. As a result, the Development Standards have been revised to allow a two-story accessory structure that cannot exceed forty feet (40') in height (PD-28 currently allows a non-accessory building height of eighty-five feet (85') and three (3) stories).

The field house is proposed to be constructed of eighty-five percent (85%) brick, stone, and stucco and fifteen percent (15%) metal along the roof line, beside some of the windows, and on a set of stairs. The Code of Ordinances requires one hundred percent (100%) brick, stone, or stucco, but states that other materials may be allowed with Town Council's approval upon the Planning & Zoning Commission's recommendation; a section has been added to the Development Standards to require at least seventy-five percent (75%) brick, stone, or stucco on permanent buildings. Renderings, as well as elevation plans, have been provided for reference.

The building is very interesting and progressive, architecturally. About half of the field house has a sloped façade connecting the second story to the ground outside the building. The purpose for this is to provide the student athletes with a unique option for their work out. The slope is covered by sections of concrete paths, concrete stairs, box jumps, artificial turf, sodded grass, and hardy ornamental shrubbery and grasses. The Town's Code of Ordinances is silent on artificial turf, but an item has been added to PD-28's Development Standards stating that artificial turf is allowed in specific athletic areas and it is not considered landscaping. Artificial turf is often considered a necessary surface for rigorous athletic activity, such as a high school's field house or football field.

Due to necessary grading next to the field house, some existing trees will have to be removed because they won't live if additional dirt is added around their trunks or if their roots are disturbed. However, after grading is complete, many canopy and ornamental trees are being planted in the same location to compensate. Tree mitigation is not required for this project because our Code of Ordinances exempts local taxing authorities, such as Northwest ISD, from the requirements of tree protection and removal.

The site plan package includes proposed monument and wall signage on the elevations sheet. The Development Standards have been revised to provide signage details.

The proposed parking lot is slated to be constructed in place of an under-utilized baseball field directly adjacent to the existing parking lot. It will contain one hundred and fifty-five (155) spaces in addition to the nineteen (19) new spaces to be built right outside the field house, for a total of one hundred and seventy-four (174) proposed parking spaces with Phase 1 of construction. Parking islands with canopy trees are found throughout the lot, and additional parking to fill the remainder of the baseball field area will be proposed with NISD's Phase 2 of construction.

New six foot (6') tall chain link fencing that will be powder-coated black is proposed around the football stadium, between an interior drive and the remaining baseball and softball fields, and around a small area connected to the tennis courts. The fencing is shown and labeled on the site plan and is allowed as proposed according to PD-28's Development Standards.

Two ticket booth locations are shown on the site plan which will be used during games. An item was added to the Development Standards making it clear that ticket booths and other temporary structures are allowed as athletic support.

An exterior lighting plan is included that indicates the fixtures will be the same or similar to the existing fixtures on the property, except the new lights will be LED. Light pollution shouldn't be an issue, as the photometric plan displays one (1) footcandle or less across the subject areas.

In addition, a site visibility diagram is included on the sheet of renderings.

Staff Recommendation:

Staff recommends approval of the proposed amendments to PD Planned Development No. 28.

Attachments:

- Exhibit A – Legal Description
- Exhibit B – Zoning Exhibit
- Exhibit C – Redlined Development Standards
- Exhibit D – Overall Site Plan
- Exhibit E – Site Plan Ph 1
- Exhibit F – Landscape Key Sheet
- Exhibit G – Tree Removal Plan
- Exhibit H – Landscape Plan
- Exhibit I – Landscape Details
- Exhibit J – Elevations & Signage
- Exhibit K – Renderings & Site Visibility
- Exhibit L – Exterior Electrical Plan
- Exhibit M – Photometric Plan

**EXHIBIT “A”
LEGAL DESCRIPTION**

EXHIBIT "A"

LEGAL DESCRIPTION

Being 92.655 acres of land located in the T. Calaway Survey, Abstract No. 272, the T. Kelly Survey, Abstract No. 704, and the J. Henry Survey, Abstract No. 529, Denton County, Texas, being the tract of land described in the deeds to Northwest Independent School District (Northwest Independent School District "NWISD"), recorded in Instrument Nos. 2004-52882, 2005-56133, and 2005-56134, Deed Records, Denton County, Texas. Said 92.655 acres of land being more particularly described as follows:

BEGINNING at a 1/2" iron rod stamped "McCullah" found at the most Westerly Northwest corner of said NWISD tract recorded in Instrument No. 2004-52882, being the Northeast corner of Lot 22, Block L, Green Acre Estates, 2nd Section, an addition to Denton County, Texas, according to the plat recorded in Volume B, Page 250, Plat Records, Denton County, Texas;

THENCE N89°32'20"E, along the most Westerly North line of said NWISD tract recorded in Instrument No. 2004-52882 a distance of 363.50 feet to a 60d nail found at the Northwest corner of the Save and Except Tract 1 as described in the deed to NWISD in said Instrument No. 2004-52882;

THENCE S00°27'22"E, along the West line of said Save and Except Tract 1, at a distance of 255.57 feet passing the Southwest corner of said Save and Except Tract 1, also being the most Westerly Northwest corner of a tract of land described in the deed to C Oil Investments, LTD. recorded in Instrument No. 2005-56135, Deed Records, Denton County, Texas, in all a total distance of 295.57 feet to a 1/2" iron rod stamped "Beasley RPLS 4050" set at the Southwest corner of said C Oil Investments, LTD tract;

THENCE along the South, East, and North lines of said C Oil Investments, LTD tract the following courses and distances:

1. N89°33'02"E, a distance of 410.61 feet to a 1/2" iron rod stamped "Beasley RPLS 4050" set;
2. N00°26'58"W, a distance of 295.62 feet to a 1/2" iron rod stamped "Beasley RPLS 4050" set;
3. S89°33'06"W, a distance of 155.00 feet to a 3/8" iron pipe found at the Northwest corner of said C Oil Investments tract, the Northeast corner of said Save and Except Tract I, and the Southeast corner of a tract of land described in the deed to Hunter Ferrell Properties, Inc recorded in Instrument No. 94-75154, Deed Records, Denton County, Texas;

THENCE N00°15'37"W, along the most Northerly West line of said NWISD tract described in Instrument No. 2004-52882, a distance of 157.16 feet to a 1/2" iron rod set at

the Southwest corner of a tract of land described in the deed to C Oil Investments, LTD. recorded in Instrument No. 2003-205035, Deed Records, Denton County, Texas;

THENCE along the South, East, and North line of said C Oil Investments, LTD. tract described in Instrument No. 2003-205035 the following courses and distances:

1. N65°51'14"E, a distance of 293.82 feet to a 60d nail found;
2. N43°22'38"E, a distance of 110.89 feet to a 60d nail found;
3. N45°01'33"W, a distance of 298.00 feet to a 60d nail found;
4. S89°29'25"W, a distance of 135.33 feet to a 60d nail found in the most Northerly West line of said NWISD tract described in Instrument No. 2004-52882;

THENCE N00°15'37"W, along the most Northerly West line of said NWISD tract described in Instrument No. 2004-52882, at a distance of 192.98 feet passing a point from which a 5/8" iron rod stamped "Carter & Burgess" bears S89°44'23"W a distance of 0.97 feet for the Northeast corner of said Hunter Ferrell Properties, Inc tract and the Southeast corner of a tract of land described in the deed to Star of Texas Energy Services, Inc recorded in Instrument No. 2004-148911, Deed Records, Denton County, Texas, in all 347.21' to a U.S. Army Corps of Engineers (Corps of Engineers "COE") Monument No. 540-1 found at the most Northerly Northwest corner of said NWISD tract described in Instrument No. 2004-52882;

THENCE along the North and East lines of said NWISD tract described in Instrument No. 2004-52882 the following courses and distances:

1. S42°22'19"E, a distance of 408.77 feet to a COE Monument No. 540-2 found;
2. S44°17'30"E, a distance of 777.59 feet to a COE Monument No. 540-3 found;
3. S58°06'38"W, a distance of 253.93 feet to a COE Monument No. 540-4 found;
4. S61°23'43"E, a distance of 642.65 feet to a 1/2" iron rod stamped "McCullah" found;
5. S50°12'33"E, a distance of 496.53 feet to a COE Monument No. 540-6 found;
6. S15°14'49"W, a distance of 150.59 feet to a COE Monument No. 540-7 found;
7. S27°03'58"W, a distance of 402.08 feet to a COE Monument No. 540-8 found;
8. N87°09'06"W, a distance of 157.55 feet to a 1/2" iron rod stamped "Beasley RPLS 4050" set;

9. S77°19'34"W, a distance of 102.76 feet to a 1/2" iron rod stamped "McCullah" found;
10. S41°39'04"W, a distance of 91.39 feet to a 1/2" iron rod stamped "McCullah" found;
11. S36°17'12"W, a distance of 52.32 feet to a 1/2" iron rod stamped "McCullah" found;
12. S40°50'39"W, a distance of 95.59 feet to a 1/2" iron rod stamped "McCullah" found;
13. S08°39'42"W, a distance of 429.68 feet to a 1/2" iron rod stamped "McCullah" found;
14. S04°12'41"W, a distance of 306.41 feet to a 1/2" iron rod stamped "McCullah" found;
15. S13°00'52"W, a distance of 96.30 feet to a 1/2" iron rod stamped "McCullah" found;
16. S19°36'46"W, a distance of 103.70 feet to a 1/2" iron rod stamped "McCullah" found;
17. S10°23'52"W, a distance of 125.46 feet to a pk set in Marshall Creek Road for the Southeast corner of said NWISD tract described in Instrument No. 2004-52882;

THENCE with the South line of said NWISD tract described in Instrument No. 2004-52882 and along a line in Marshall Creek Road the following courses and distances:

1. Westerly, 138.46 feet along a non tangent curve to the left, having a radius of 1,031.76 feet, a central angle of 07°41'21" and a chord bearing N73°38'58"W, 138.36 feet to a pk set;
2. N77°29'39"W, a distance of 909.47 feet to a pk set at the beginning of a non tangent curve;
3. Westerly, 350.07 feet along a non tangent curve to the left, having a radius of 2,020.05 feet, a central angle of 09°55'45" and a chord bearing N85°28'47"W, 349.63 feet to an X found for the Southwest corner of said NWISD tract described in Instrument No. 2004-52882;

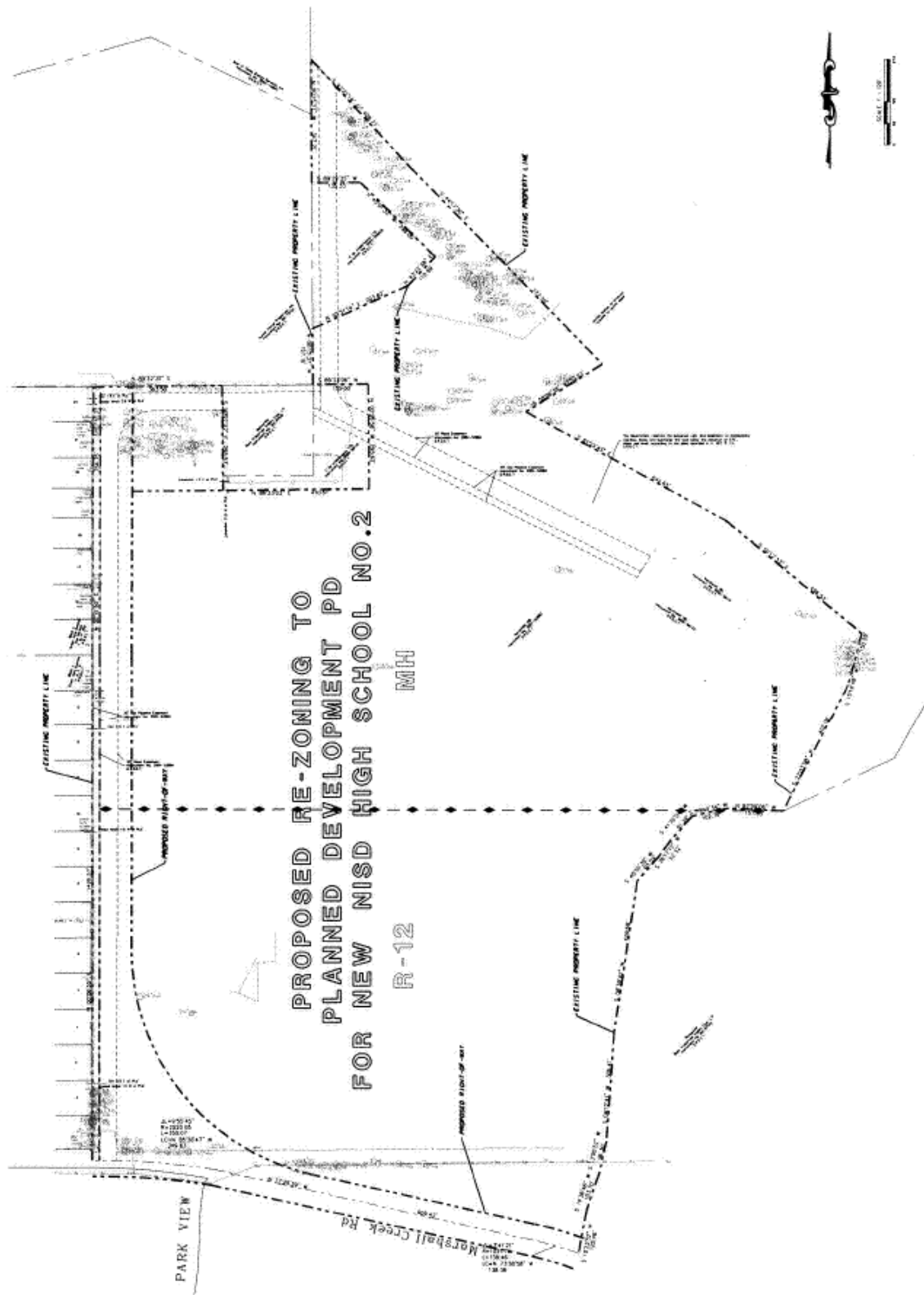
THENCE N00°06'55"E, along the most Westerly West line of said NWISD tract described in Instrument No. 2004-52882, at a distance of 31.69 feet passing a 3/8" iron rod found at the Southeast corner of Lot 1, Block L, Green Acre Estates, an Addition to Denton County, Texas, according to the plat recorded in Volume 6, Page 6, Plat Records,

Denton County, Texas, in all a distance of 1,426.57 feet to a 3/8" iron rod found at the Northeast corner of Lot 14, Block L, of said Green Acre Estates, also being the Southeast corner of Lot 15, Block L, of said Green Acre Estates, 2nd Section;

THENCE N00°15'50"E, along the East line of said Green Acre Estates, 2nd Section, a distance of 754.75 feet to the point of beginning, containing 92.655 acres of land.

The bearings recited hereon are oriented to NAD 83, Texas North Central Zone.

**EXHIBIT “B”
ZONING EXHIBIT**



**EXHIBIT “C”
DEVELOPMENT STANDARDS**

**DEVELOPMENT STANDARDS
NORTHWEST INDEPENDENT SCHOOL DISTRICT
HIGH SCHOOL NO. 2
BYRON NELSON HIGH SCHOOL
Trophy Club, Texas**

The development of the Land described in Exhibit “A” – Legal Description (a copy of which is attached hereto and incorporated herein) (hereinafter “Tract 1”) consisting of approximately 92.65524 acres of land shall be in accordance with Exhibit “B” – Zoning Exhibit of the development (a copy of which is attached hereto and incorporated herein), all other Exhibits attached to or incorporated herein, the Zoning Code, all other applicable codes and regulations of the Town of Trophy Club, and the following Development Standards, conditions and requirements:

A. Purpose: This Planned Development is designed to accommodate a high school and other appurtenant uses as applicable with a high school site. For development purposes, the land is one contiguous tract. The use and development of the tract shall be in accordance with the Code of Ordinances of the Town, ~~Article IV,~~ Section 14.02.1644.14 NS – Neighborhood Service District Regulations with the following exceptions:

1. Size of Tract:

Tract 1 shall contain approximately 92.65524 acres of land

2. Uses Generally: In the development and use of Tract 1, no land shall be used and no building or structure shall be installed, erected, or converted to any use other than the following Permitted Uses:

3. Permitted Uses:

(a) Tract 1 shall allow all uses indicated in the following Use List.

Athletic Fields, Stadium, Auditorium, Gyms	Bldg for auxiliary uses, <u>such as field house</u> on HS site
Children’s Day Care Center & Kindergarten	Equestrian facilities
Park, Playground, Play lots, Related Facilities	Private Stable
Public Safety Facilities	Recreational
School	Social, Recreational, Assembly Buildings
Storage (auxiliary uses for HS site)	Swimming Pool
Tennis, Handball, Racquet Ball Clubs	Utility Facilities, Garage, Storage

4. Limitation of Uses: Except as provided below, any use not expressly permitted herein or allowed by temporary, conditional or specific use permit is prohibited:

- (a) Sporting Events and any applicable appurtenances shall be granted as a permanent use.
- (b) Educational or informational displays.
- (c) A temporary use as defined in the Zoning Code shall not be permitted or located nearer than one-hundred feet (100') to a residentially zoned district.
- (d) An accessory use as defined in the Zoning Code shall not be located within any identified easement. In addition, accessory structures permitted in these districts shall not exceed forty feet (40') in height and be a maximum of two (2) stories~~one-story in height~~, except for storage/ utility structures which shall not exceed fifteen feet (15') in height. Utility structures may include lift stations and other operational utility structures required for full functionality of a high school.
- (e) Ticket booths and/or other temporary structures for athletic support are permitted.

5. Area Building and Site Regulations:

The building and site regulations will generally follow Chapter 14~~3~~ of the Code of Ordinances of the Town, ~~Article IV~~, Section 14.02.164~~4.14~~ NS – Neighborhood Service District Regulations, with the exception of those items listed below:

- (a) Building Height: No primary building or structure shall exceed eighty-five feet (85') or three (3) stories in height. The height of accessory structures is regulated in Section A.4(d) of this document.
- (b) Lighting: Prior to the issuance of a building permit for the Land or any part thereof, an overall lighting plan, accompanying the Final Site Plan for the Land must be approved by the Town Council upon recommendation of the Planning & Zoning Commission. Additionally, written standards shall be approved by the Town Council upon recommendation of the Planning & Zoning Commission at a later date, in the form of an amendment to this Ordinance.
- (c) Fencing: Chain link fencing may be used for athletic fields only as long as it has 100% vinyl coverage. Black vinyl is an acceptable color. All other colors shall be approved by the Town Council upon recommendation of the Planning & Zoning Commission.

Additional fencing shall meet the requirements of Chapter 143, ~~Article VII, Section 14.02.3517.01~~ of the Town's Code of Ordinances.

- (d) Outdoor Storage: No outdoor storage, except for refuse disposal, shall be permitted on the land. Dumpster locations shall be subject to the prior approval of the Planning & Zoning Commission, as indicated on the Final Site Plan. Dumpsters are to be enclosed on all sides with three (3) masonry walls and one (1) gate of a similar architectural style of buildings. Minimum height of the enclosures shall be determined by the height of the dumpster. When possible, landscaping shall provide additional screening for the enclosure. Operating hours for trash service shall be in accordance with the Town of Trophy Club standards.
- (e) Signage: Illuminated LED and Non-Illuminated permanent marquee and monument signage will be allowed at drive approaches, intersections and the front of ~~an occupied~~ the building. Prior to the issuance of one (1) or more sign permits for permanent signage, a color rendering of each permanent sign with labeled dimensions and building materials, supplemented with the location of each proposed sign either shown on an exterior building wall or on a location map of the site, as appropriate,~~a building permit for the Land or any part thereof, an overall sign plan, accompanying the Final Site Plan for the Land~~ must be approved by the Town Council upon recommendation of the Planning & Zoning Commission.~~Additionally, written standards shall be approved by the Town Council upon recommendation of the Planning & Zoning Commission at a later date, in the form of an amendment to this Ordinance.~~

Signage shall be in accordance with the Code of Ordinances of the Town, Article 3.09 Signs with the following exceptions:

- (i) A monument sign may be located adjacent to Byron Nelson High School's field house for identification. The monument sign shall be constructed of brick, stone, stucco, and/or cast stone. In accordance with the monument sign elevation included in the attachments, dimensions of the field house's monument sign shall not exceed twenty-one feet (21') in length, six feet (6') in height, and shall not be more than one hundred and twenty-five square feet (125 sf) in area.
- (ii) A wall sign may be located on the exterior wall of primary and accessory buildings that includes the form of a mascot or school logo. Dimensions of the wall sign shall not exceed twenty feet (20') in width, twenty feet (20') in

height, and shall not be more than three hundred square feet (300 sf) in area.

- (f) Hours of Operation: The hours of operation shall be between 7:00am and 11:00pm for the standard calendar school year and shall be between 7:00am and 6:00pm for the summer session.
- (g) Mechanical & Electrical Equipment: Mechanical and electrical equipment, including air conditioning units, shall be designed and operated to minimize noise impact on surrounding property. All such Equipment shall be screened from public view. Equipment screening shall not be considered as a part of building height.
- (h) Building Material Requirements: All permanent buildings and structures shall be of exterior fire-resistant construction having at least seventy-five percent (75%) of the total exterior walls, excluding doors, windows, and porches, constructed of brick, stone, or stucco. After the seventy-five percent (75%) masonry requirement is met, other materials must be approved by the Town Council upon recommendation of the Planning & Zoning Commission.

B. Additional Development Standards:

- 1. Landscaping: Landscaping shall be provided as required by applicable codes, including but not limited to the Zoning Code as amended, and Chapter 143, ~~Article VII,~~ Section 14.02.352 ~~7.03~~—Landscaping Regulations, and the Subdivision Regulations, Chapter 102, ~~Article VIII,~~ except as specifically provided herein below:
 - (a) Interior areas of parking lots shall contain planter islands or berms located so as to best relieve the expanse of paving. Planter islands or berms must be located no further apart than every twenty-four (24) parking spaces and at the terminus of all rows of parking. Such islands or berms shall contain at least one (1) tree. Each tree shall be a minimum of four (4) caliper inches as measured twelve inches (12”) above final grade adjacent to the trunk of the tree. The remainder shall be landscaped with shrubs, lawn, and/or ground cover. Shrubs shall be a minimum of thirty inches (30”) ~~three feet (3’)~~ in height when measured immediately after planting, and shall reach three feet (3’) in height within one year of planting. Interior planter islands shall have a minimum size of nine feet (9’) by eighteen feet (18’).

(b) Perimeter landscape areas shall contain at least one tree for each fifty (50) linear feet or fraction thereof of perimeter area. Shrubs shall meet the requirements of B.1(a) above.



(c) Trees shall be planted in non-vehicular open space to meet the following requirements. Existing trees that are preserved on a developed site may be credited to the following requirements:

Percentage of Site in Non-Vehicular Open Spaces:

0-100%

Tree Ratio per Non-Vehicular Open Space:

9 trees/4,000 sq. ft.

(d) Artificial turf is allowed in areas specifically used for athletic purposes. Artificial turf is not considered landscaping.

2. Fire Lanes: Fire lanes will be shown on the Final Site Plan. Location and details shall be provided at the time of the Final Site Plan submittal and shall be approved by the Fire Department.

3. Final Site Plan: The Final Site Plan shall be submitted to the Planning & Zoning Commission and Town Council for approval. Such approval shall be in the form of an ordinance duly adopted by the Town Council, upon recommendation from the Planning & Zoning Commission.

Upon approval, the Final Site Plan shall become an amendment to this Ordinance. In the event of any conflicts between this Ordinance and such approved Final Site Plan, the Ordinance adopting the Approved Final Site Plan shall control.

4. Amendments to the Site Plan: Amendments to the Site Plan for items that are not determined to be substantial by the Planning & Zoning Coordinator shall be permitted. The Planning & Zoning Coordinator shall determine items to be classified as not substantial.

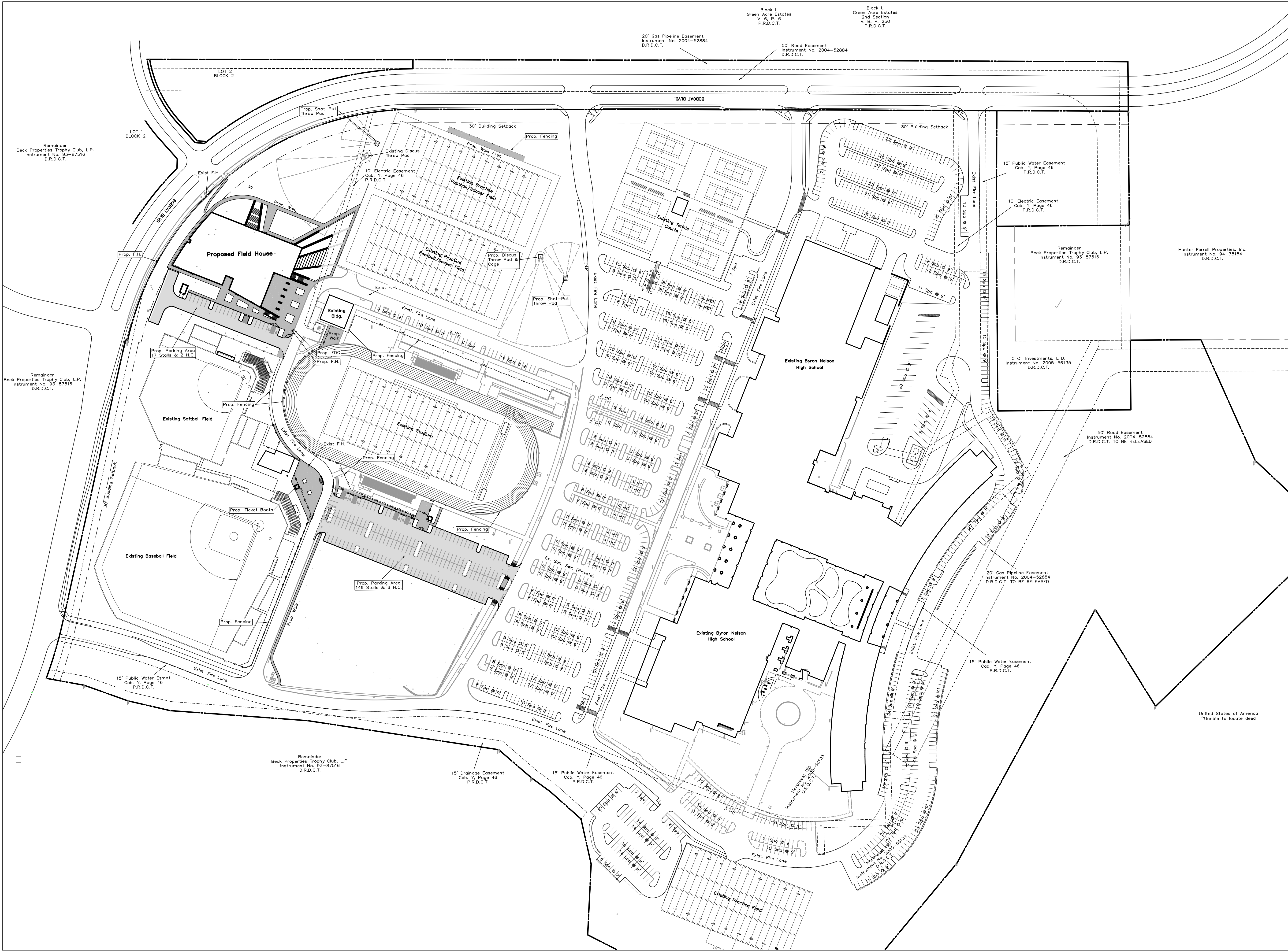
5. Notwithstanding any contrary provision in the Ordinance or any exhibits hereto, the final approvals listed below must be obtained from the Town prior to the issuance of any building permits. Such approvals must be made by an Ordinance amending this Ordinance creating PD-Planned Development No. 28:

(a) Final Site Plan approval, including but not limited to Landscape Plan and Plant List.

(b) Building Elevations

(c) Sight Line Studies

- (d) Photometric Plan and Light Fixture Illustrations
- (e) Signage
- (f) Retaining Wall and Fencing



SITE SUMMARY

Zoning.....	PD-28
Area.....	82.863 Acres
Existing Building Area	
Ground Floor.....	313,651 Sq. Ft.
Second Floor.....	126,352 Sq. Ft.
Third Floor.....	62,352 Sq. Ft.
Total Building Area.....	502,352 Sq. Ft.
Proposed Building Area.....	42,473 Sq. Ft.
Building Height (2-Stories).....	38'-0"
Existing Parking Provided.....	1447 Spaces
Proposed Parking Provided.....	174 Spaces
Total Parking Required.....	1067 Spaces
(1stall/3students) (3200 students)	
HC Parking Required.....	27 Spaces
HC Parking Provided	44 Spaces
F.A.R	
Ground Floor.....	313,651 Sq. Ft. = 0:1
Second Floor.....	126,352 Sq. Ft. = 0:4
Third Floor.....	62,352 Sq. Ft. = 0:2
Existing Building Combined FAR =	0:7
Proposed Building FAR =	0:1
LOT COVERAGE	
Existing Building =	0:14
Proposed Building =	0:1

LEGEND

	Proposed Pavement
	Proposed Sidewalk

NOTE:
Prior to beginning any construction or construction staking, it shall be the Contractor's responsibility to contact the civil engineer to insure that all parties are in possession of the most current set of construction documents.

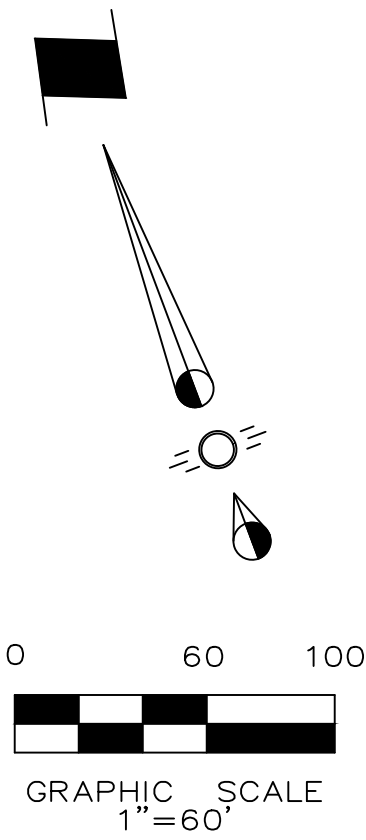
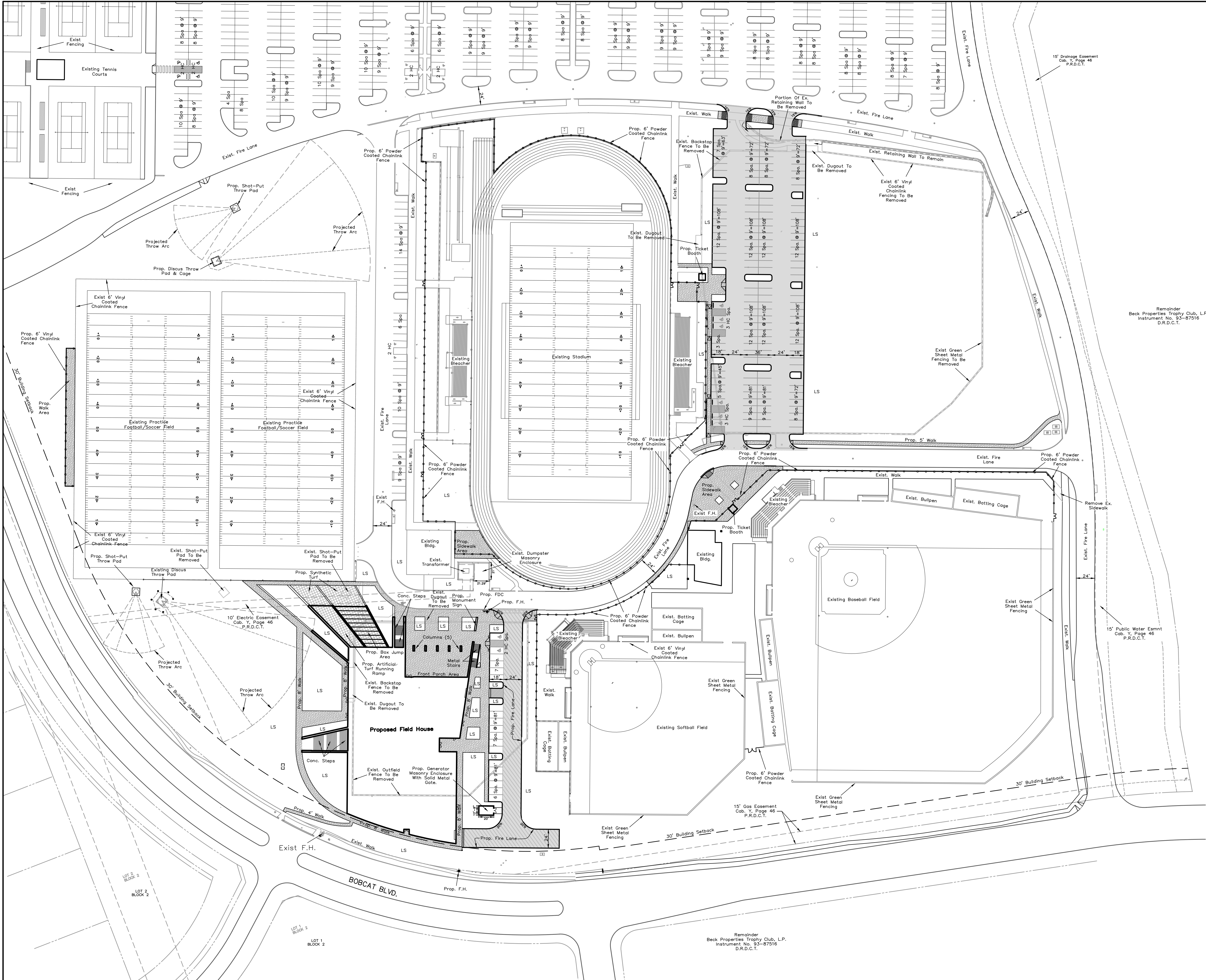
REVISION	DATE	DESCRIPTION



RLK ENGINEERING, INC.
111 West Main
Allen, Texas 75013
(972) 359-1733 Off
(972) 359-1833 Fax
Texas Registration No. 579

SITE PLAN - OVERALL PROPERTY
BYRON NELSON HIGH SCHOOL ADDITIONS - PHASE I
BOBCAT BLVD
TROPHY CLUB, TEXAS

DESIGNED BY: RLK Engineering	TECH REVIEW: RLK	DRAWING FILE: 17124 (PHASE I) Site Plan.dwg	DRAWING SCALE:	SHEET:
DRAWN BY: RLK Engineering	PEER REVIEW: RLK	DRAWING DATE: 6-27-18	PROJECT NUMBER: RLK: 17124	C00-01



LEGEND

- Proposed Pavement
- Proposed Sidewalk
- Proposed Synthetic Turf
- Proposed Firelane
- LS Landscaping

Remainder
Beck Properties Trophy Club, L.P.
Instrument No. 93-87516
D.R.D.C.T.

Remainder
Beck Properties Trophy Club, L.P.
Instrument No. 93-87516
D.R.D.C.T.

MISC. INFORMATION

NOTE:
Prior to beginning any construction or construction staking, it shall be the Contractor's responsibility to contact the civil engineer to insure that all parties are in possession of the most current set of construction documents.

REVISION	DATE	DESCRIPTION



RLK ENGINEERING, INC.
111 West Main
Allen, Texas 75013
(972) 359-1733 Off
(972) 359-1833 Fax
Texas Registration No. 579

SITE PLAN - PHASE I ADDITIONS
BYRON NELSON HIGH SCHOOL ADDITIONS - PHASE I
BOBCAT BLVD
TROPHY CLUB, TEXAS

DESIGNED BY: RLK Engineering	TECH REVIEW: RLK	DRAWING FILE: 17124 (PHASE 1) Site Plan-Detailed.dwg	DRAWING SCALE: PROJECT NUMBER: RLK: 17124	SHEET: C00-02
DRAWN BY: RLK Engineering	PEER REVIEW: RLK	DRAWING DATE: 6-27-18		



2218 BRYAN STREET
SUITE 200
DALLAS, TEXAS 75201
t 214.283.8700
f 214.283.8701
www.perkinswill.com



5646 MILTON STREET
SUITE 426
DALLAS, TEXAS 75201
t 469.930.7655
www.glenn-partners.com

CONSULTANTS

CIVIL

RLK ENGINEERING, INC.
111 WEST MAIN STREET
ALLEN, TEXAS 75013

STRUCTURAL

L.A. FUESS PARTNERS, INC.
3333 LEE PARKWAY, SUITE 300
DALLAS, TEXAS 75219

MEP

ESTES, MCCLURE & ASSOCIATES, INC.
3608 WEST WAY
TYLER, TEXAS 75703

LANDSCAPING

SMR LANDSCAPE ARCHITECTS, INC.
1708 NORTH GRIFFIN STREET
DALLAS, TEXAS 75202

TECHNOLOGY

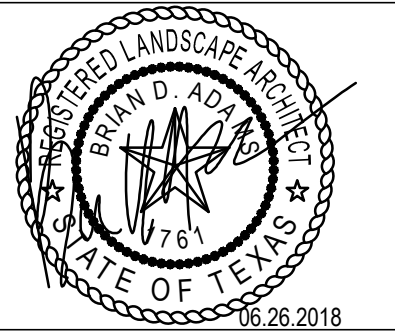
MOYE CONSULTING
1255 CORPORATE DRIVE, SUITE 100
IRVING, TEXAS 75038

FOOD SERVICE

JMK FOODSERVICE CONSULTING & DESIGN
3431 LAKEVIEW PARKWAY, SUITE 205
ROWLETT, TEXAS 75088

GENERAL CONTRACTOR

NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
CORPELL, TEXAS 75019



PROJECT



**BYRON NELSON HIGH
SCHOOL FIELD HOUSE**
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

CITY COMMENTS 06/26/2018

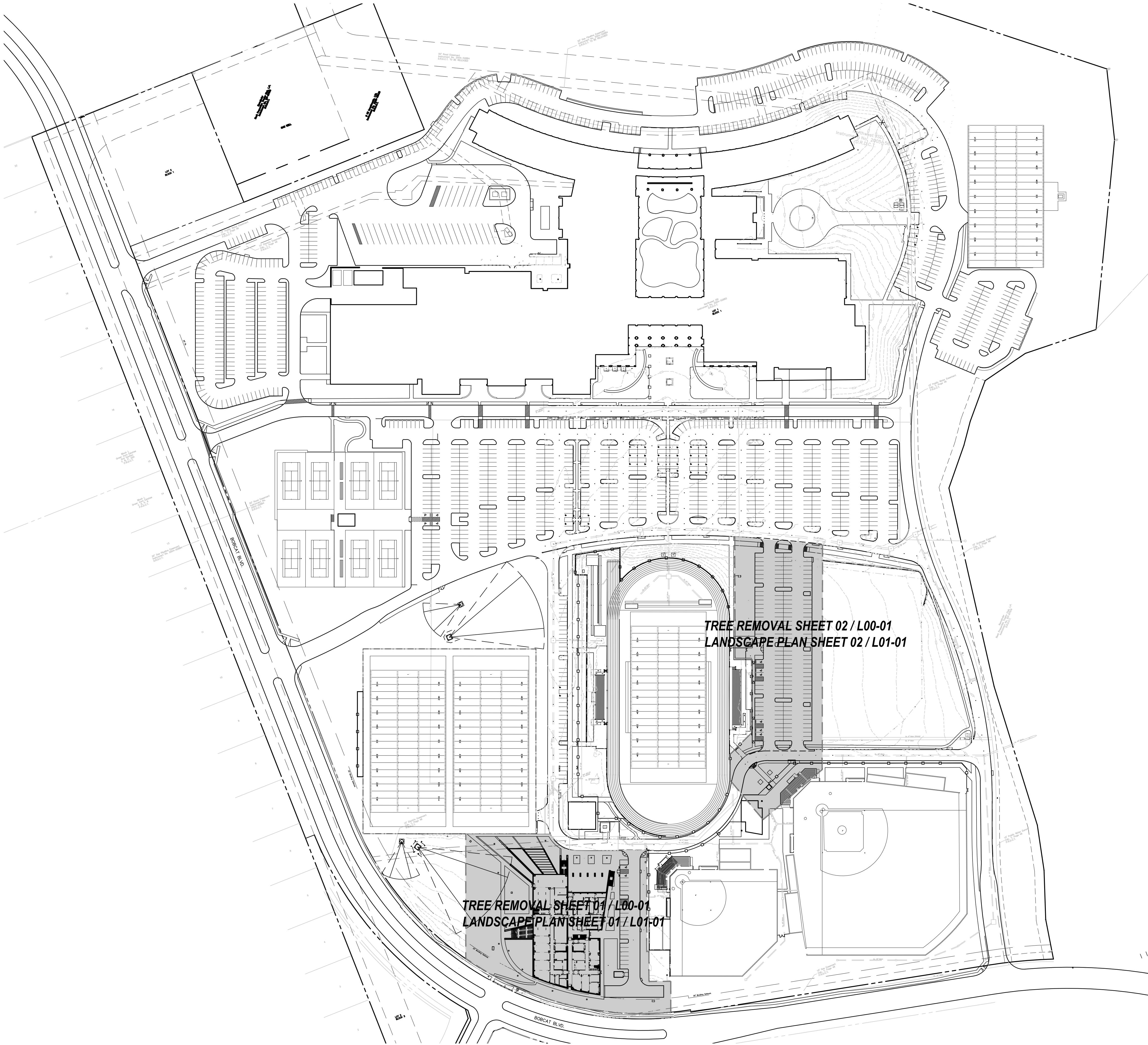
Job Number	00000000
Drawn	MM
Checked	MM
Approved	00000000

TITLE

KEY SHEET

SHEET NUMBER

L00-00

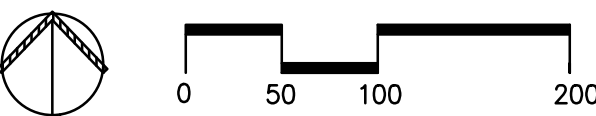


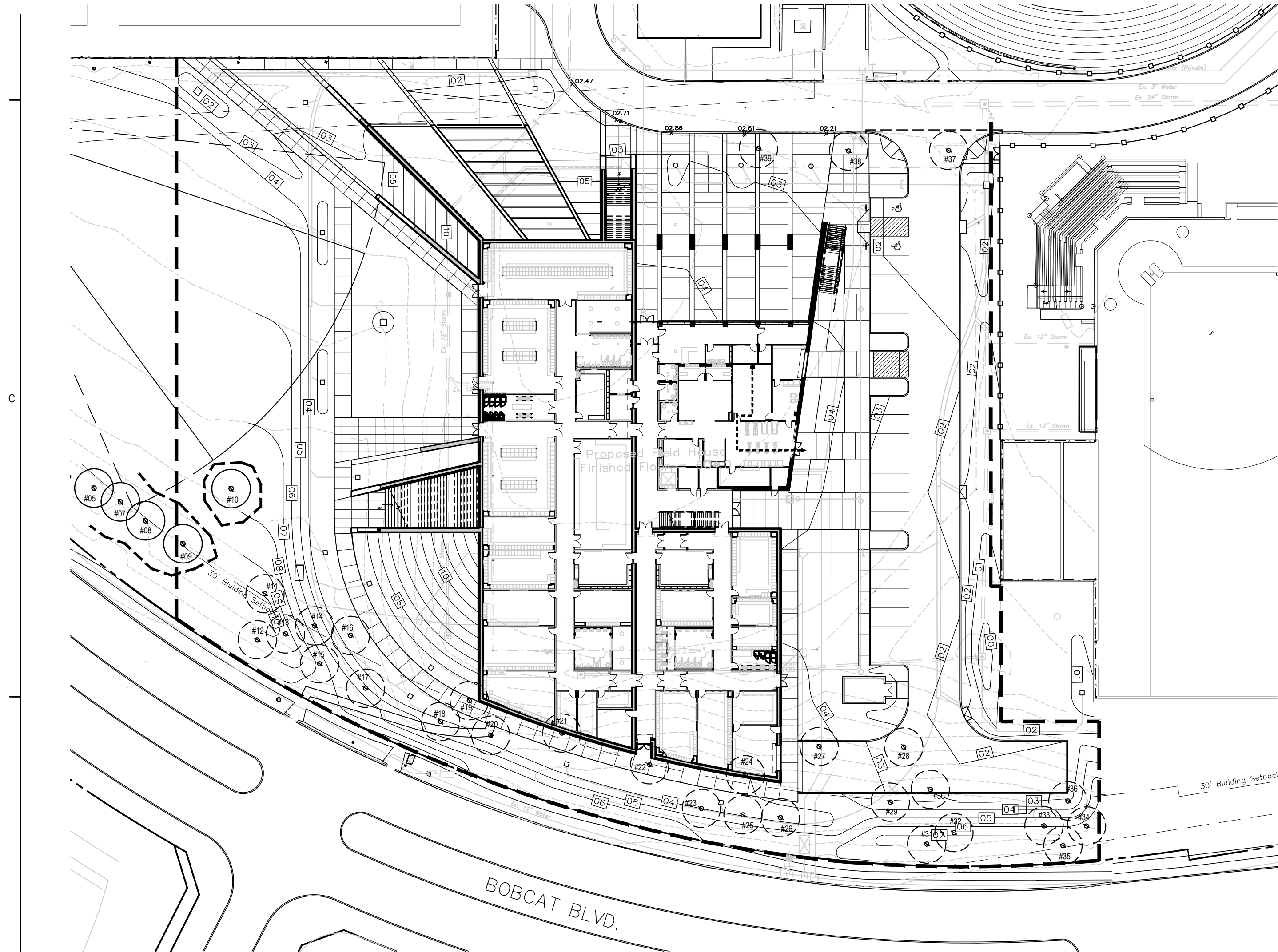
TREE REMOVAL SHEET 02 / L00-01
LANDSCAPE PLAN SHEET 02 / L01-01

TREE REMOVAL SHEET 01 / L00-01
LANDSCAPE PLAN SHEET 01 / L01-01



01 KEY SHEET
SCALE: 1" = 100'-0"





EXISTING TREE NOTES

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall obtain the services of a Licensed Arborist for any tree pruning.

Town of Trophy Club Tree Notes

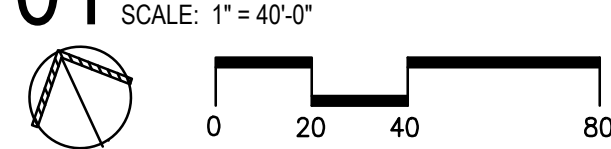
- Each tree shall be identified by numerical reference on the tree survey.
- Each tree shall be affixed with a permanent tag bearing the corresponding number as depicted on the tree survey. The tag shall be permanently attached at a height not less than five feet (5') nor more than six feet (6') above existing grade on the south face of the tree.
- The survey shall bear the stamp or seal of a registered surveyor relative to the location of any trees and shall bear the stamp or seal of a registered landscape architect, or registered arborist relative to the species of any trees.
- A sign shall be placed on each separate lot or tract for which a tree removal permit is requested to inform the general public that an application for a tree removal permit(s) has been filed relative to a protected, specimen, majestic, or historic tree. The sign must meet the following criteria:
 - The size of the sign(s) shall be three feet (3') by four feet (4') and be made out of aluminum or corrugated plastic material;
 - The sign(s) shall be mounted on stakes/poles;
 - The sign(s) shall be visible from the street;
 - There shall be one (1) sign for each street frontage; and
 - The sign(s) shall have a white background, with letters and borders being green in color. The sign(s) shall state the following:

TOWN OF TROPHY CLUB, TX
A TREE REMOVAL PERMIT HAS BEEN
REQUESTED FOR THIS SITE
FOR INFORMATION, CALL 682.831.4680

EXISTING TREE PRUNING NOTES

- Contractor shall provide a Class B' pruning on all existing trees.
- This shall include at a minimum: removal of dead, dying, diseased weak branches along main trunk structure and within branching area.
- Contractor shall include deep root feeding and invigoration of existing trees. This shall be organic based nutrients based for root growth and leaf growth stimulation.
- Contractor shall be required to chip all removed branches, leaves, etc.

01 TREE REMOVAL PLAN (BUILDING)



DEMOLITION NOTES

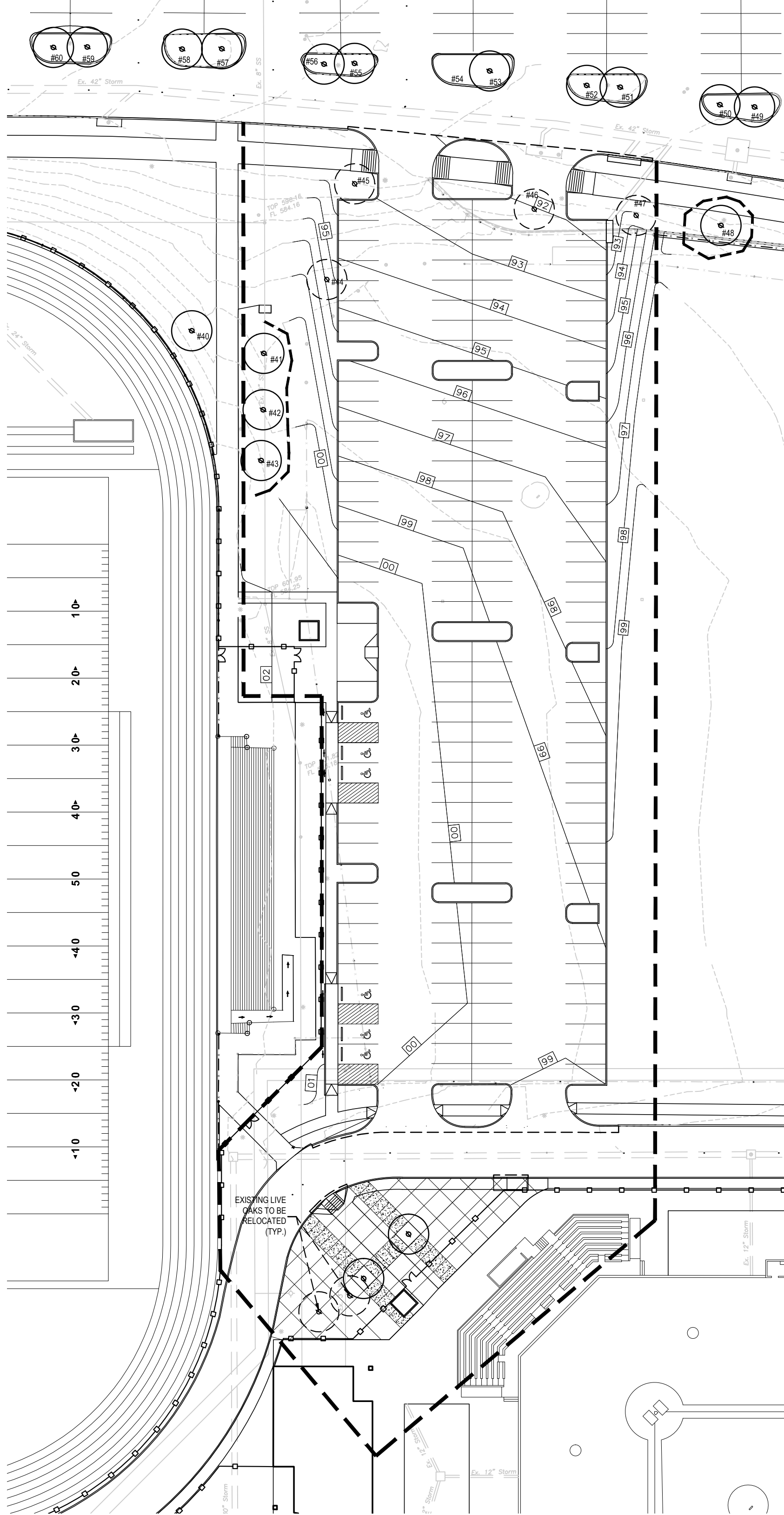
- Provide demolition, salvage and protection of existing structures, surfaces and trees as shown on the drawings.
- Before submitting proposal, visit and examine site to determine actual nature and scope of demolition and salvage work. Claims for extra compensation on account of additional labor materials or equipment required for difficulties encountered in demolition and salvage will not be recognized.
- Prior to demo, disconnect and cap off utilities and service lines not required for new construction in accordance with requirements of governing authorities ordinances and regulations.
- Erect necessary barricades, storing and protective measures as required.
- Materials and debris resulting from demolition operations become the property of the Contractor. Please remove from site.
- Remove pavements, and structures to the depths of their sub-structure.
- Leave construction area clean and ready to use by other trades.
- Remove pavement sub-base to the depth of the base materials.
- Do not remove or damage trees unless noted to be removed. All tree protection devices shall be in place prior to demolition activities. Any demolition activities required within the dripline of trees to be saved shall be carefully removed by hand labor. Report any tree damage to the Landscape Architect.
- Prior to beginning demolition, Contractor shall provide coverings for existing site elements remaining to prevent damage. Any site elements scheduled to remain which are damaged by the Contractor's activities shall be required at the Contractor's expense.
- Provide demolition of existing site items as shown on the drawings. Completely remove items to 8" below grade and haul away all refuse.

BNHS- TREE MITIGATION SCHEDULE						
TREE NO.	DIA "	SPECIES	REMOVE	PROTECTED	OF TREES TO REPLACE @ 1:1.5 RATIO	LOCATION
1						
2						
3						
4						
5						
6						
7						
8						
9	8	CE				Landscape Area
10	8	LO				Landscape Area
11	6	ERC	X	NO		Landscape Area
12	6	ERC	X	NO		Landscape Area
13	8	CE	X			Landscape Area
14	6	LO	X		8	Landscape Area
15	4	REDBUD	X	NO	6	Landscape Area
16	6	LO	X		9	Landscape Area
17	6	ERC	X	NO		Landscape Area
18	6	ERC	X	NO		Landscape Area
19	4	REDBUD	X	NO		Building Footprint
20	6	LO	X		9	Landscape Area
21	6	ERC	X	NO		Building Footprint
22	10	CP	X	NO		Building Footprint
23	6	LO	X		9	Landscape Area
24	6	LO	X	NO		Building Footprint
25	6	ERC	X	NO		Landscape Area
26	6	REDBUD	X		9	Landscape Area
27	8	LO	X	NO		Access Easement
28	8	LO	X			Access Easement
29	10	CP	X		15	Landscape Area
30	6	ERC	X	NO		Landscape Area
31	6	REDBUD	X		9	Landscape Area
32	8	ERC	X	NO		Landscape Area
33	8	BO	X		12	Landscape Area
34	8	BO	X		12	Landscape Area
35	4	REDBUD	X	NO		Landscape Area
36	6	ERC	X	NO		Landscape Area
37	8	LO	X	NO		Access Easement
38	8	LO	X		12	Landscape Area
39	8	LO	X		12	Landscape Area
BUILDING SUB-TOTAL:					122	
40	8	LO				Landscape Area
41	8	BO				Landscape Area
42	6	LO				Landscape Area
43	6	LO				Landscape Area
44	6	BO	X	YES	9	Landscape Area
45	6	BO	X	YES	9	Landscape Area
46	8	BO	X	YES	12	Landscape Area
47	8	BO	X	YES	12	Landscape Area
48	6	BO				Landscape Area
49	10	CO				Landscape Area
50	10	CO				Landscape Area
51	10	CO				Landscape Area
52	4	CO				Landscape Area
53	8	CO				Landscape Area
54	8	CO				Landscape Area
55	10	CO				Landscape Area
56	6	CO				Landscape Area
PARKING SUB-TOTAL:					42	
Total					164	

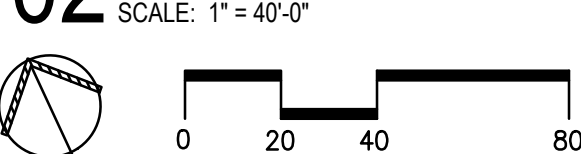
Note:
Per Section 10.02.243 of the Town of Trophy Club Development Ordinance
Tree preservation
(4) Exemptions.
(B) Local authorities, constructing or improving public grounds and/or buildings, shall Be exempt from the requirements set forth in this division.

CALIPER INCHES PLANTED

- BUILDING CALIPER INCHES PLANTED: 116 CALIPER INCHES
- PARKING CALIPER INCHES PLANTED: 108 CALIPER INCHES



02 TREE REMOVAL PLAN (PARKING)



2218 BRYAN STREET
SUITE 200
DALLAS, TEXAS 75201
t 214.283.8700
f 214.283.8701
www.perkinswill.com

glenn | partners

5646 MILTON STREET
SUITE 426
DALLAS, TEXAS 75201
t 469.930.7655
www.glenn-partners.com

CONSULTANTS

CIVIL
RLK ENGINEERING, INC.
111 WEST MAIN STREET
ALLEN, TEXAS 75013

STRUCTURAL
LA. FUESS PARTNERS, INC.
3333 LEE PARKWAY, SUITE 300
DALLAS, TEXAS 75219

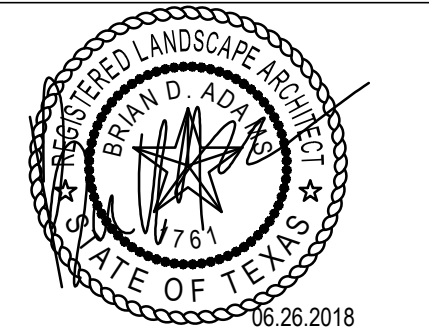
MEP
ESTES, MCCLURE & ASSOCIATES, INC.
3608 WEST WAY
TYLER, TEXAS 75703

LANDSCAPING
SMR LANDSCAPE ARCHITECTS, INC.
1708 NORTH GRIFFIN STREET
DALLAS, TEXAS 75202

TECHNOLOGY
MOYE CONSULTING
1255 CORPORATE DRIVE, SUITE 100
IRVING, TEXAS 75038

FOOD SERVICE
JMK FOODSERVICE CONSULTING & DESIGN
3431 LAKEVIEW PARKWAY, SUITE 205
ROWLETT, TEXAS 75088

GENERAL CONTRACTOR
NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
CORPELL, TEXAS 75019



PROJECT



BYRON NELSON HIGH
SCHOOL FIELD HOUSE
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

CITY COMMENTS 06/26/2018

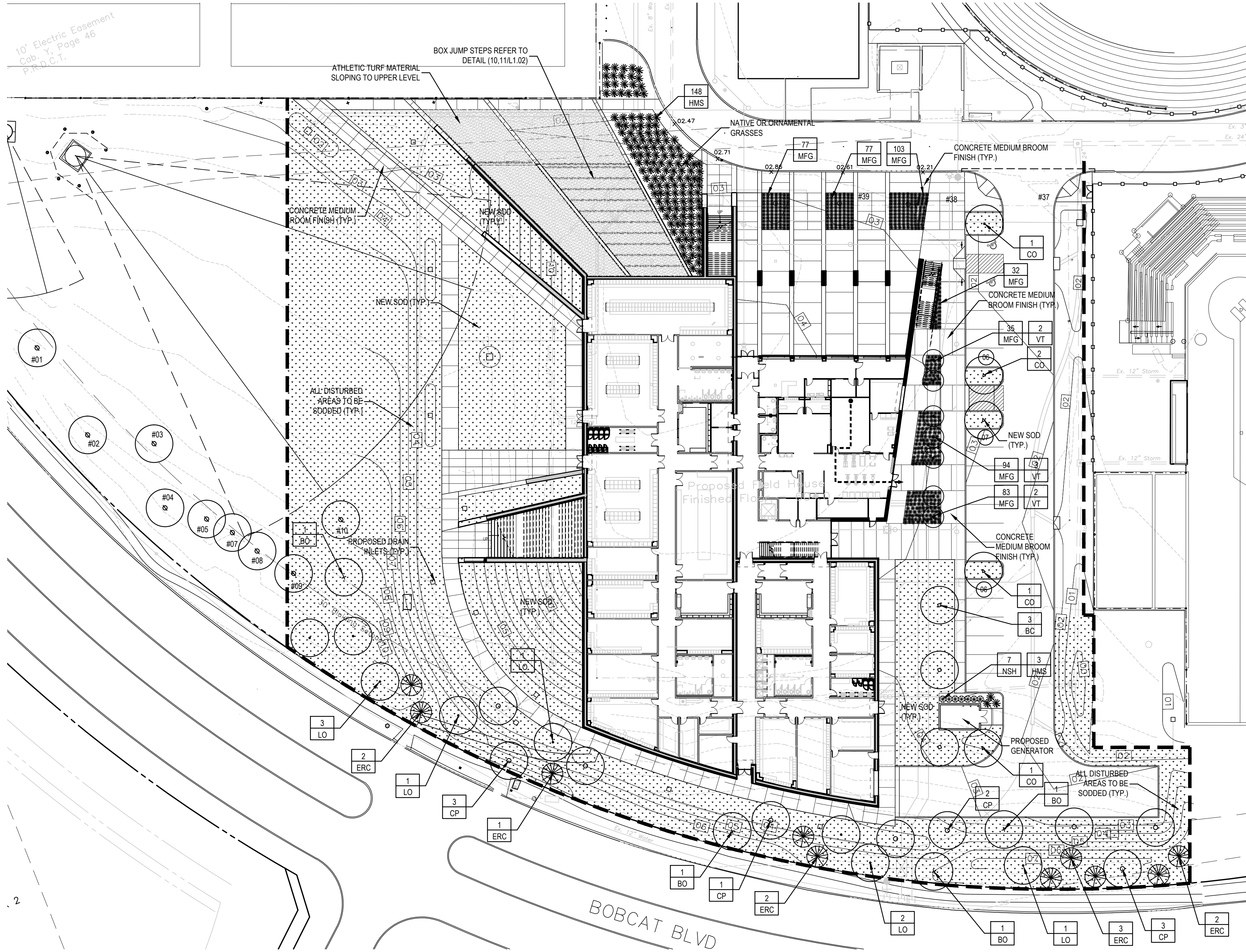
Job Number	
Drawn	
Checked	
Approved	

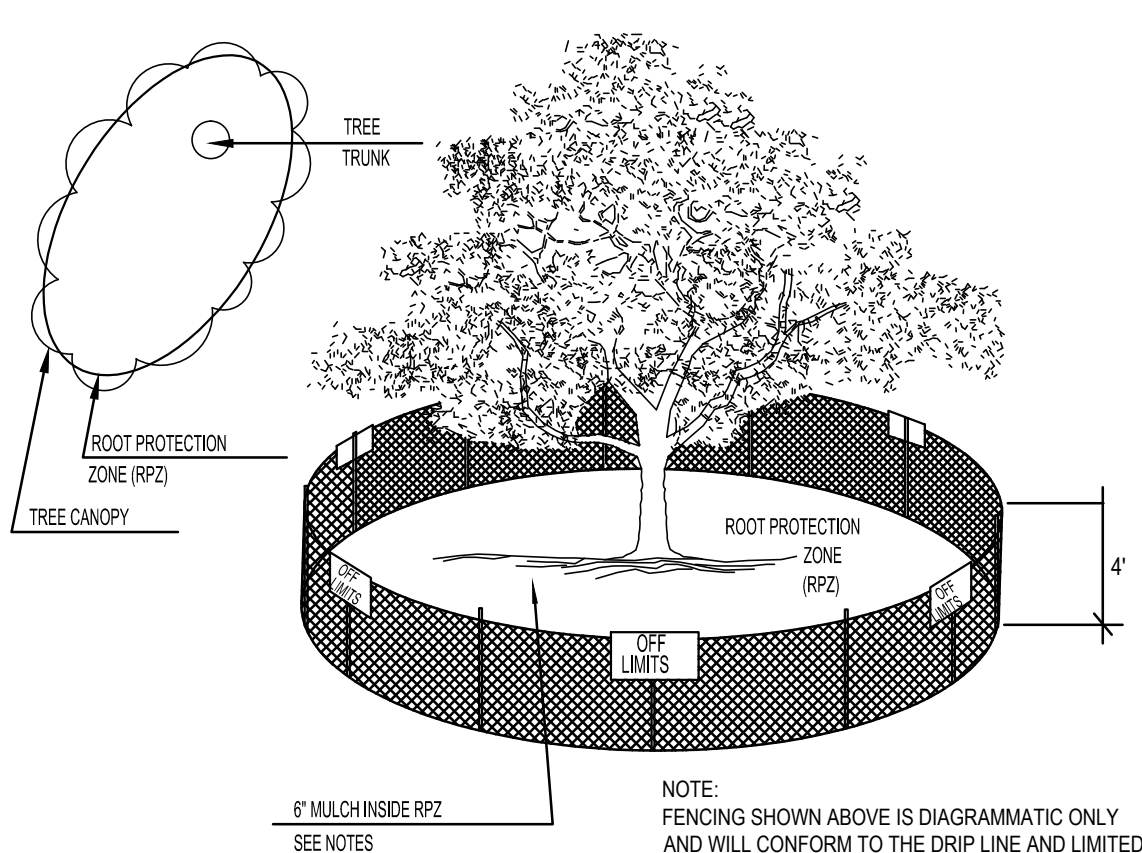
TITLE

TREE REMOVAL
PLAN

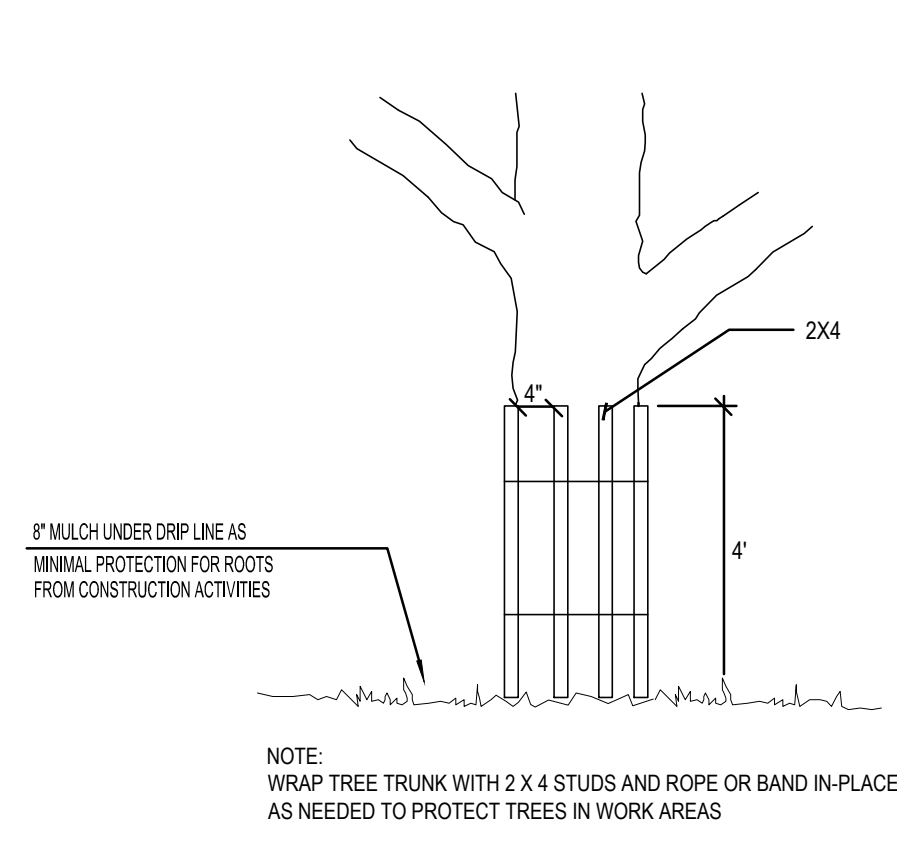
SHEET NUMBER

L00-01

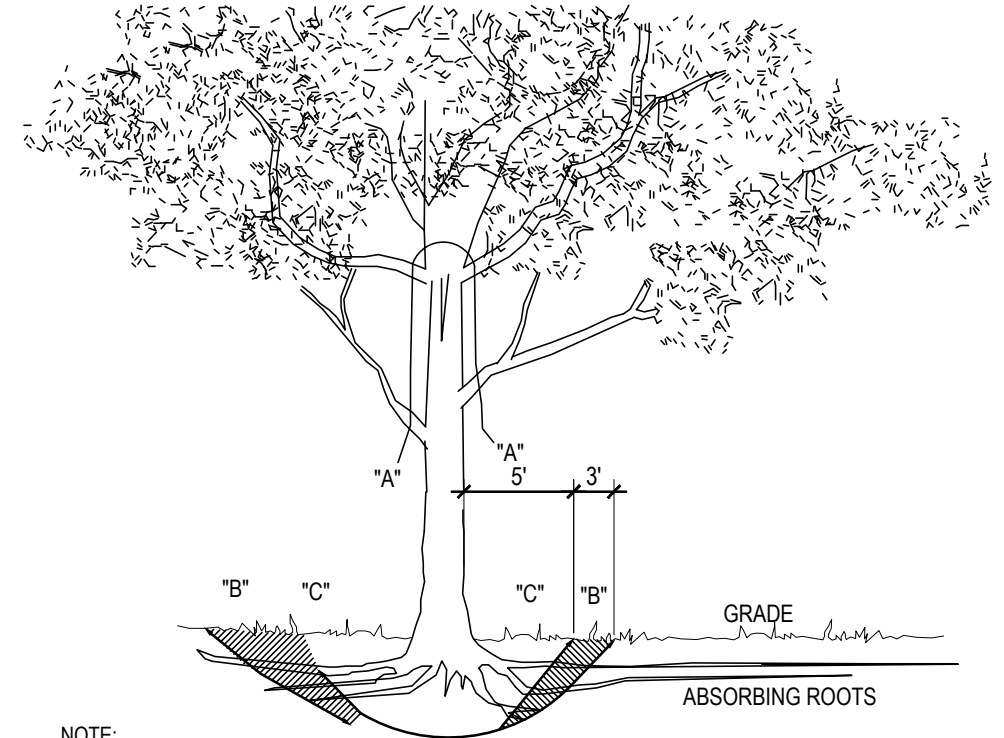




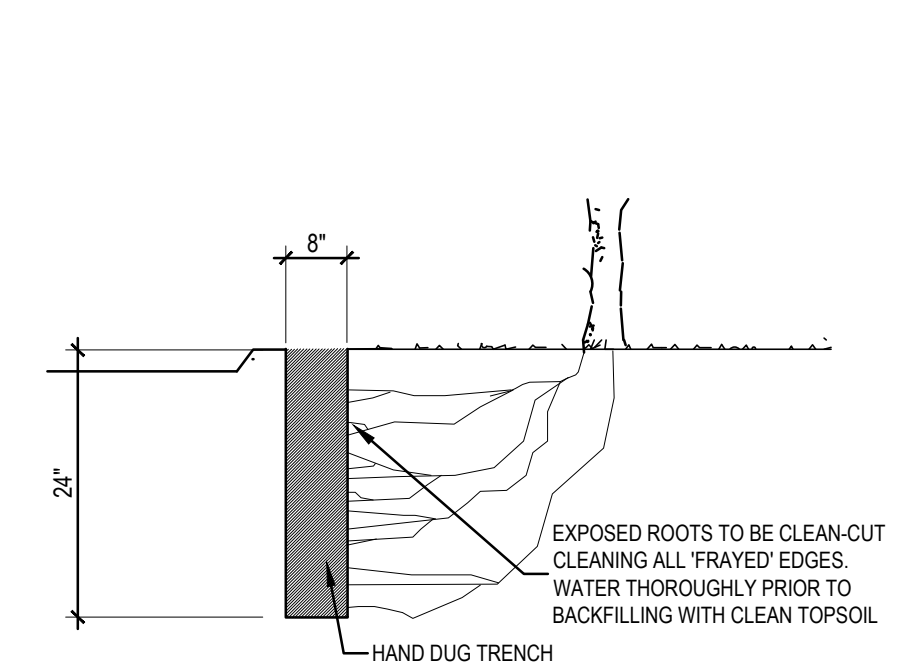
01 TREE PROTECTION FENCE A NOT TO SCALE



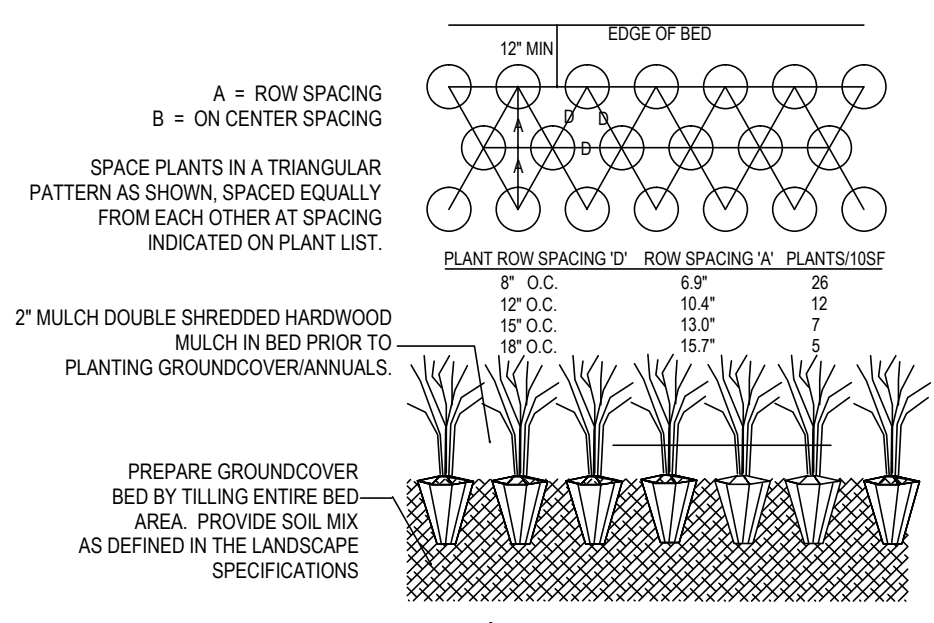
02 TREE PROTECTION FENCE B NOT TO SCALE



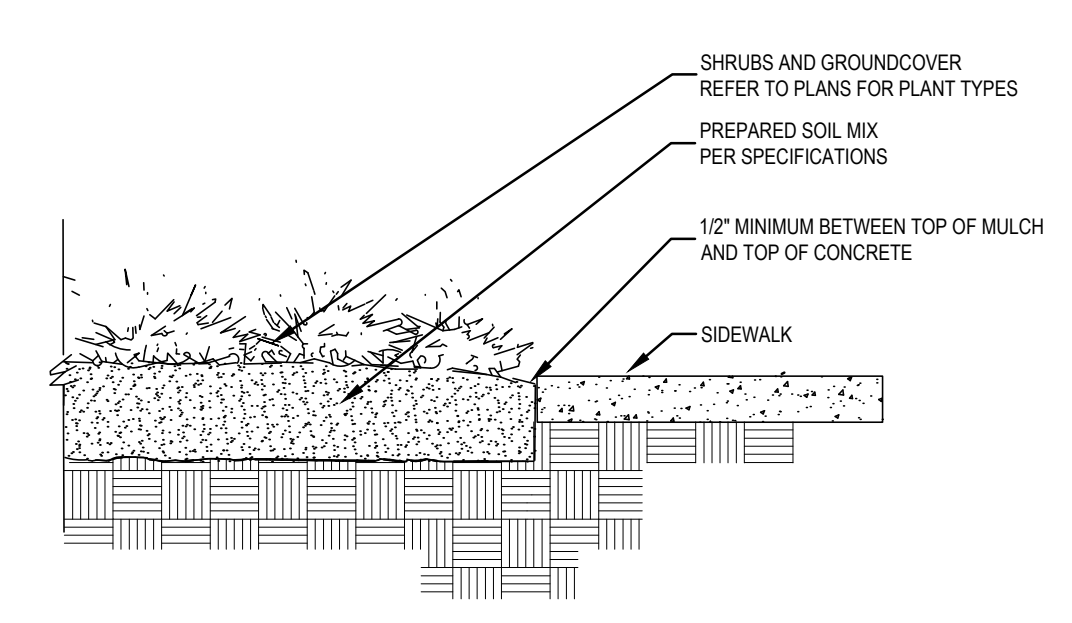
03 TREE REMOVAL DIAGRAM NOT TO SCALE



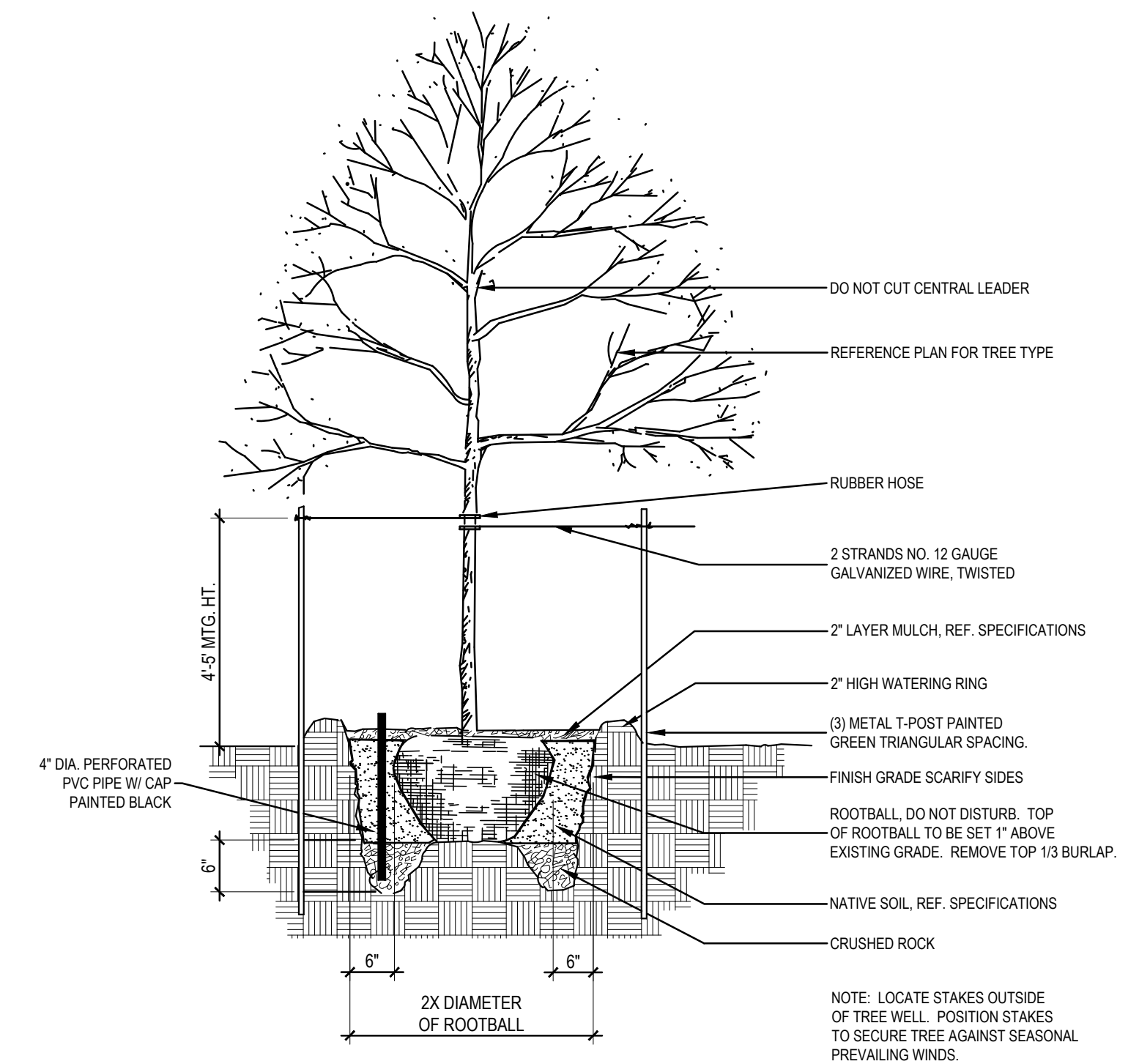
04 ROOT PRUNING DETAIL N.T.S.



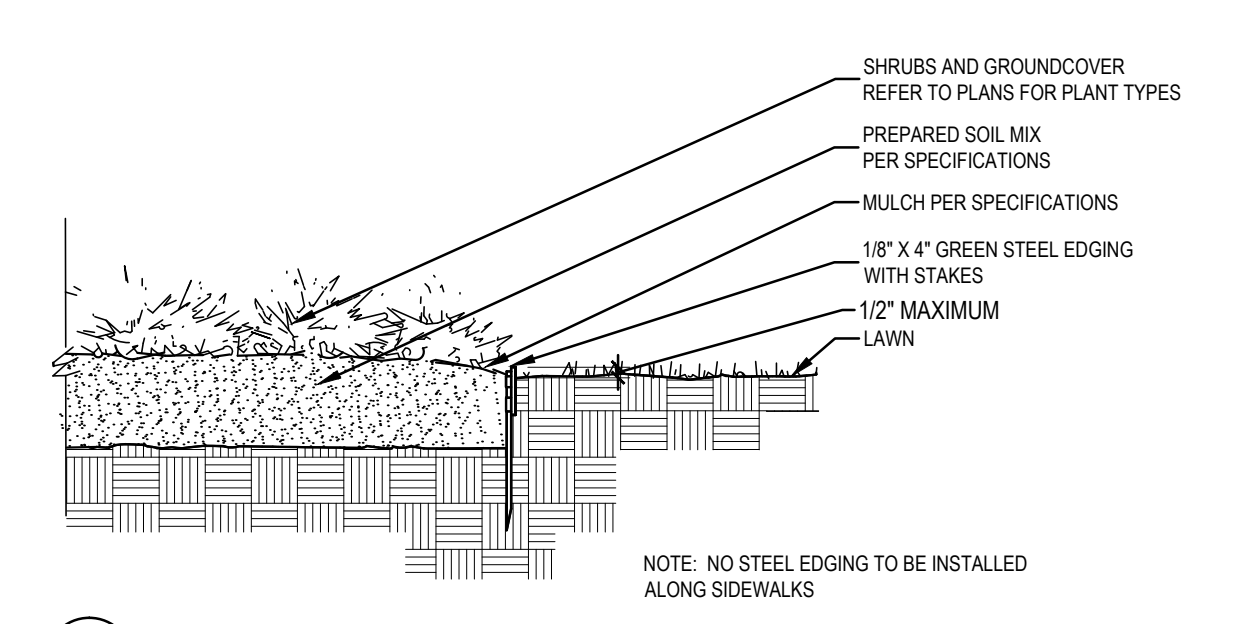
05 GROUND COVER PLANTING DETAIL NOT TO SCALE



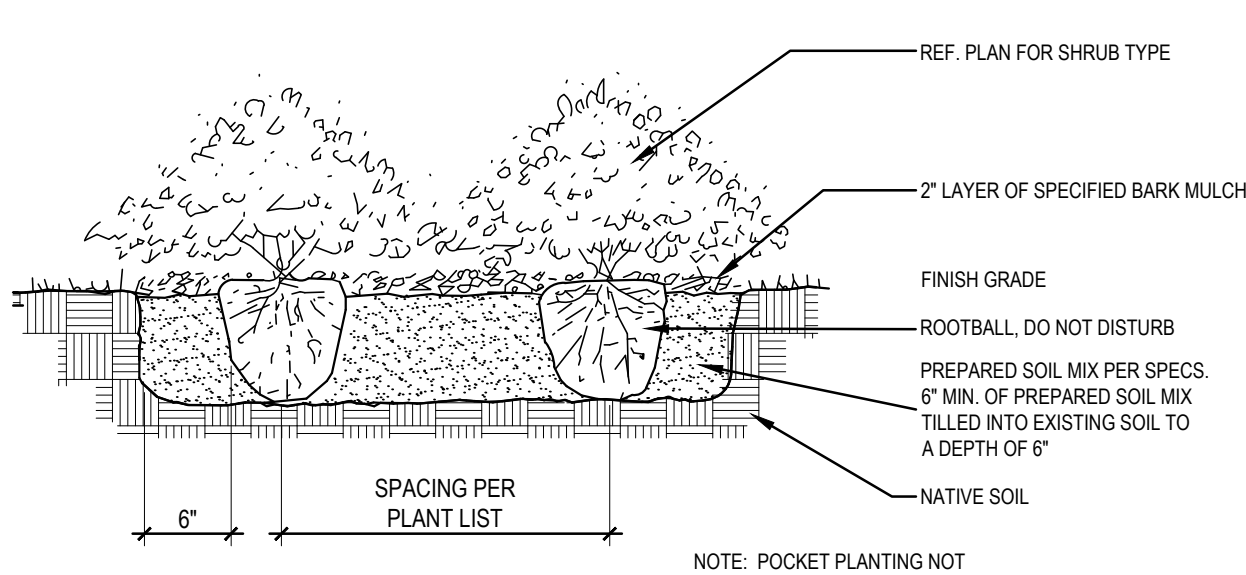
06 SIDEWALK / MULCH DETAIL no steel along sidewalks NOT TO SCALE



07 TREE PLANTING DETAIL NOT TO SCALE



08 STEEL EDGING DETAIL NOT TO SCALE



09 SHRUB PLANTING DETAIL NOT TO SCALE

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

SOLID SOD NOTES

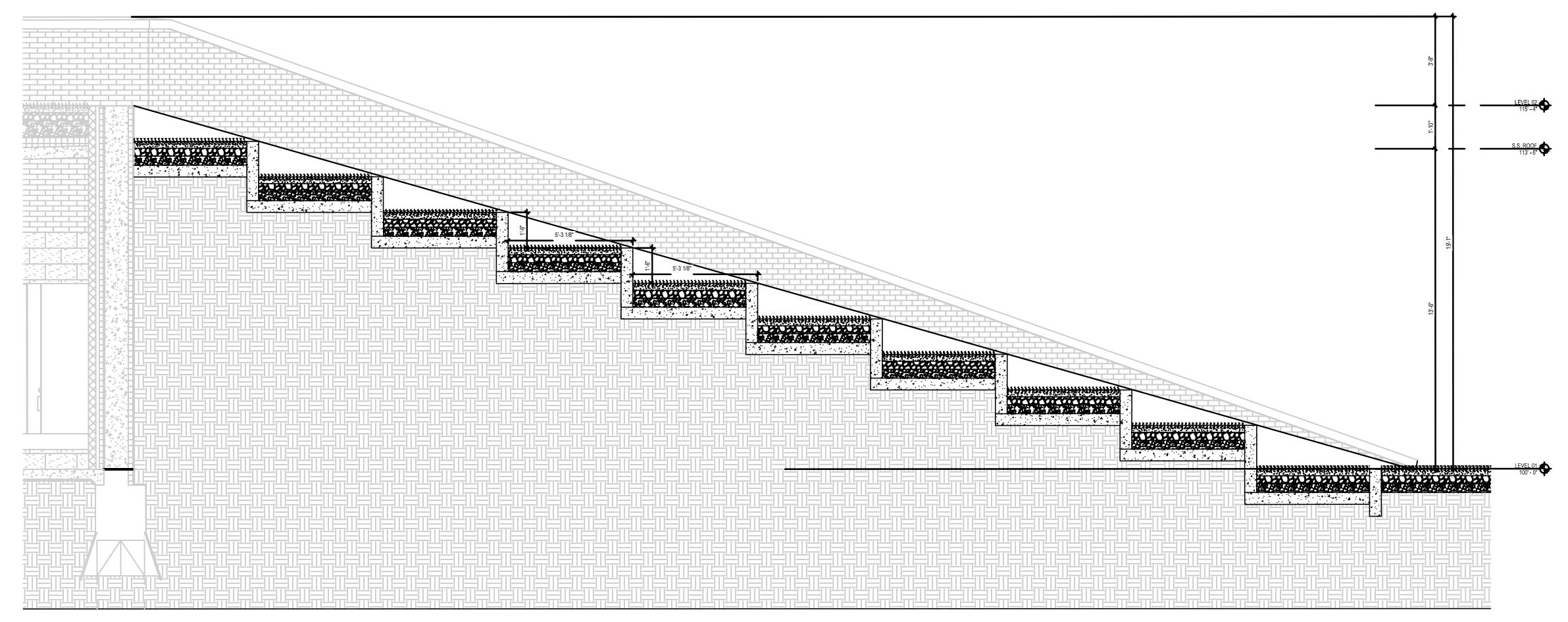
- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

ATHLETIC FIELD SOD NOTES

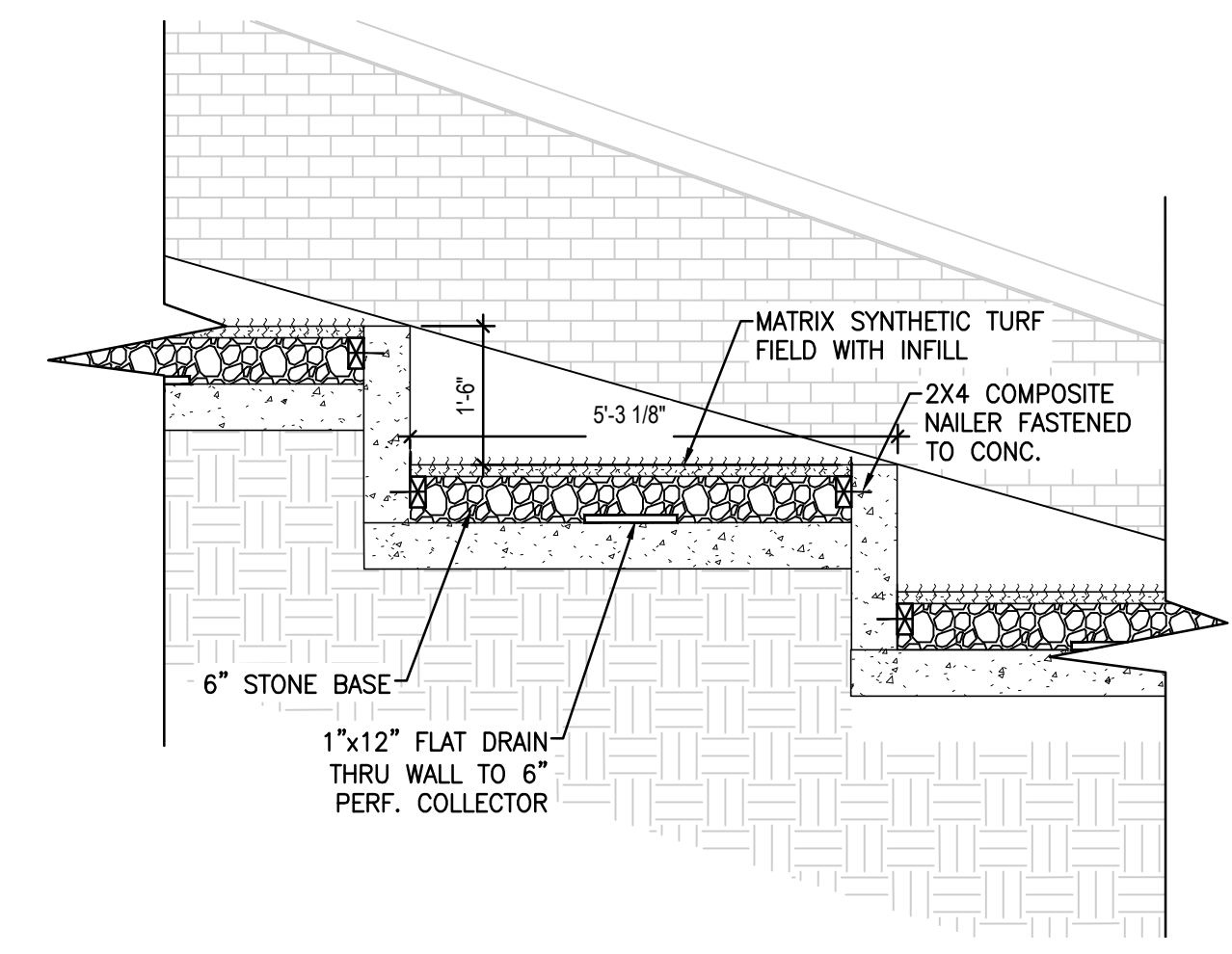
- Contractor shall grade fields per civil plans. Any compacted areas shall be loosened to depth of 1" and raked smooth.
- Contractor shall provide 2" of clean imported topsoil on all fields as indicated on the plans 3'-0" beyond limits of out-of-bounds.
- Contractor shall fine grade per Civil plans and obtain written approval from Architect, Engineer, and Owner's representative (if any) prior to sod installation.
- Sod shall be 'roll' sod. Minimum 42" width by 100'-0" length with at least 1" heavy clay soil covering roots. Any sod not planted within 24 hours after receipt on site shall not be planted.
- Sod shall be laid with edges touching and no open gaps. Joints shall be overlapped.
- Sod shall be rolled a minimum of (4) times in opposite directions.
- Dirt clods, trash, debris, etc. will not be acceptable. All irrigation trenches shall be fully settled prior to sod installation.

IRRIGATION REPAIR SPECIFICATIONS

- Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
- Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, sleeving, etc.



10 JUMP BOX SECTION 3/16"=1'-0"



11 JUMP BOX DETAIL 1/4"=1'-0"

PERKINS
+ WILL

2218 BRYAN STREET
SUITE 200
DALLAS, TEXAS 75201
t 214.283.8700
f 214.283.8701
www.perkinswill.com

glenn | partners

5646 MILTON STREET
SUITE 426
DALLAS, TEXAS 75201
t 469.930.7655
www.glenn-partners.com

CONSULTANTS

CIVIL
RLK ENGINEERING, INC.
111 WEST MAIN STREET
ALLEN, TEXAS 75013

STRUCTURAL
L.A. FUESS PARTNERS, INC.
3333 LEE PARKWAY, SUITE 300
DALLAS, TEXAS 75219

MEP
ESTES, MCCLURE & ASSOCIATES, INC.
3608 WEST WAY
TYLER, TEXAS 75703

LANDSCAPING
SMR LANDSCAPE ARCHITECTS, INC.
1708 NORTH GRIFFIN STREET
DALLAS, TEXAS 75202

TECHNOLOGY
MOYE CONSULTING
1255 CORPORATE DRIVE, SUITE 100
IRVING, TEXAS 75038

FOOD SERVICE
JMK FOODSERVICE CONSULTING & DESIGN
3431 LAKEVIEW PARKWAY, SUITE 205
ROWLETT, TEXAS 75088

GENERAL CONTRACTOR
NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
CORPELL, TEXAS 75019

SEAL OF THE STATE OF TEXAS
JULY 26 2018
PROJECT

BYRON NELSON
Bobcats
NORTHWEST ISD

BYRON NELSON HIGH
SCHOOL FIELD HOUSE
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

CITY COMMENTS 06/26/2018

Job Number	
Drawn	<input type="checkbox"/> M
Checked	<input type="checkbox"/> M
Approved	<input type="checkbox"/> M

KEY SHEET

SHEET NUMBER

L01-02

CITY OF TROPHY CLUB - BNHS - PD 28

DEVELOPMENT STANDARDS NSD HIGH SCHOOL NO.2 - TROPHY CLUB, TEXAS

DESIGN STANDARDS (APPLICABLE TO THIS PROJECT ONLY)

(A) PURPOSE: THIS PLANNED DEVELOPMENT IS DESIGNED TO ACCOMMODATE A HIGH SCHOOL AND OTHER APPURTENANT USES AS APPLICABLE WITH A HIGH SCHOOL SITE. FOR DEVELOPMENT PURPOSES, THE LAND IS ONE CONTIGUOUS TRACT. THE USE AND DEVELOPMENT OF THE TRACT SHALL BE IN ACCORDANCE WITH THE CODE OF ORDINANCES OF THE TOWN, SECTION 14.02.164 NS - NEIGHBORHOOD SERVICE DISTRICT REGULATIONS WITH THE FOLLOWING EXCEPTIONS:

5. AREA BUILDING AND SITE REGULATIONS:

THE BUILDING AND SITE REGULATIONS WILL GENERALLY FOLLOW CHAPTER 14 OF THE CODE OF ORDINANCES OF THE TOWN, SECTION 14.02.164 NS - NEIGHBORHOOD SERVICE DISTRICT REGULATIONS, WITH THE EXCEPTION OF THOSE ITEMS LISTED BELOW:

- (A) BUILDING HEIGHT: NO BUILDING OR STRUCTURE SHALL EXCEED EIGHTY-FIVE FEET (85') OR THREE (3) STORIES IN HEIGHT.
- (G) MECHANICAL & ELECTRICAL EQUIPMENT: MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. EQUIPMENT SCREENING SHALL NOT BE CONSIDERED AS A PART OF BUILDING HEIGHT.

CITY OF TROPHY CLUB - NS REGULATIONS

SEC. 14.02.164 NS NEIGHBORHOOD SERVICE DISTRICT REGULATIONS

DESIGN STANDARDS (APPLICABLE TO THIS PROJECT ONLY)

(A) PURPOSE: THE PURPOSE OF THE NS NEIGHBORHOOD SERVICE DISTRICT IS TO PROVIDE LIMITED LOW IMPACT SERVICE TYPE FACILITIES TO RESIDENTIAL AREAS. SERVICES PERMITTED IN THIS DISTRICT DO NOT INVOLVE RETAIL ACTIVITY. THE USES ALLOWED IN THESE DISTRICTS SHOULD NOT HAVE AN ADVERSE EFFECT ON ADJACENT RESIDENTIAL AREAS, AND MAY BE LOCATED CLOSE TO RESIDENTIAL USES, WITH APPROPRIATE BUFFERS AND LANDSCAPING.


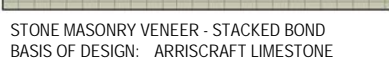
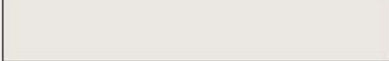

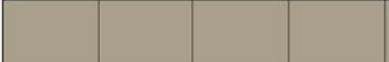
(K) DESIGN REQUIREMENTS. THE FOLLOWING DESIGN REQUIREMENTS SHALL APPLY IN THE NS NEIGHBORHOOD SERVICE DISTRICT:

- (1) NO OUTDOOR STORAGE, EXCEPT FOR REFUSE DISPOSAL, SHALL BE PERMITTED. REFUSE DISPOSAL AREAS SHALL BE LANDSCAPED AND SCREENED FROM VIEW.
- (2) MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED, INSTALLED AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- (3) LIGHTING SHALL BE DESIGNED TO REFLECT AWAY FROM ANY ADJACENT RESIDENTIAL AREA.

BUILDING ELEVATION MATERIAL SUMMARY

1. BUILDING ELEVATIONS WEST, NORTH, AND EAST DO NOT FACE A PUBLIC STREET. SOUTH BUILDING ELEVATION FACES BOBCAT BOULEVARD. THE NEW FIELD HOUSE ENTRY IS LOCATED OFF OF A PRIVATE DRIVE.
2. THE ROOF TOP MECHANICAL EQUIPMENT IS LOCATED ON THE ROOF OF THE FIELD HOUSE. THE UNITS WILL NOT BE VISIBLE ON ANY POINT OF THE PROPERTY OR ADJACENT PROPERTIES.

BUILDING ELEVATION MATERIAL SUMMARY

MATERIAL	WEST ELEVATION	SOUTH ELEVATION	EAST ELEVATION	NORTH ELEVATION	MASONRY TOTALS
 MODULAR BRICK VENEER - RUNNING BOND BASIS OF DESIGN: BLACKSON BRICK COMPANY KANSAS BRICK AND TILE CO. BRICK TO MATCH EXISTING BRICK ON MAIN HIGH SCHOOL	3462 SF	2938 SF	2864 SF	857 SF	10121 SF
 STONE MASONRY VENEER - STACKED BOND BASIS OF DESIGN: ARCHICRAFT LIMESTONE RENAISSANCE 12" x 24"	925 SF	63 SF	1997 SF	179 SF	3164 SF
 MASONRY CAP - CAST STONE PARAPET CAP BASIS OF DESIGN: DALLAS CAST STONE CO. COLOR: WHITE LIMESTONE	394 SF	102 SF	90 SF	305 SF	891 SF
 STUCCO - (EXTERIOR PORTLAND CEMENT PLASTER) COLOR: TO MATCH STUCCO ON MAIN BUILDING	333 SF	-	-	273 SF	606 SF
 ALUMINUM COMPOSITE METAL FASCIA & SOFFIT BASIS OF DESIGN: REYNOLDS REYNOLUX COLOR: PUEBLO TAN	417 SF	783 SF	816 SF	681 SF	2697 SF
TOTAL MATERIAL	5531 SF	3886 SF	5767 SF	2295 SF	17479 SF
MASONRY %	92.4%	97.4%	85.8%	70.3%	
TOTAL FIELD HOUSE MASONRY %	85.0%				

PERKINS
+ WILL

2218 BRYAN STREET
SUITE 200
DALLAS, TEXAS 75201
1214.283.8700
www.perkinswill.com

glenn | partners

5646 MILTON STREET
SUITE 426
DALLAS, TEXAS 75201
1469.930.7655
www.glenn-partners.com

CONSULTANTS

CIVIL
RLK ENGINEERING, INC.
111 WEST MAIN STREET
ALLEN, TEXAS 75013

STRUCTURAL

L.A. FUESS PARTNERS, INC.
3333 LEE PARKWAY, SUITE 300
DALLAS, TEXAS 75219

MEP

ESTES, MCCLURE & ASSOCIATES, INC.
3608 WEST WAY
TYLER, TEXAS 75703

LANDSCAPING

SMR LANDSCAPE ARCHITECTS, INC.
1708 NORTH GRIFFIN STREET
DALLAS, TEXAS 75202

TECHNOLOGY

MOYE CONSULTING
1255 CORPORATE DRIVE, SUITE 100
IRVING, TEXAS 75038

FOOD SERVICE

JMK FOODSERVICE CONSULTING & DESIGN
3431 LAKEVIEW PARKWAY, SUITE 205
ROWLETT, TEXAS 75088

GENERAL CONTRACTOR

NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
CORPELL, TEXAS 75019

PROJECT



BYRON NELSON HIGH
SCHOOL ATHLETIC
FIELD HOUSE
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

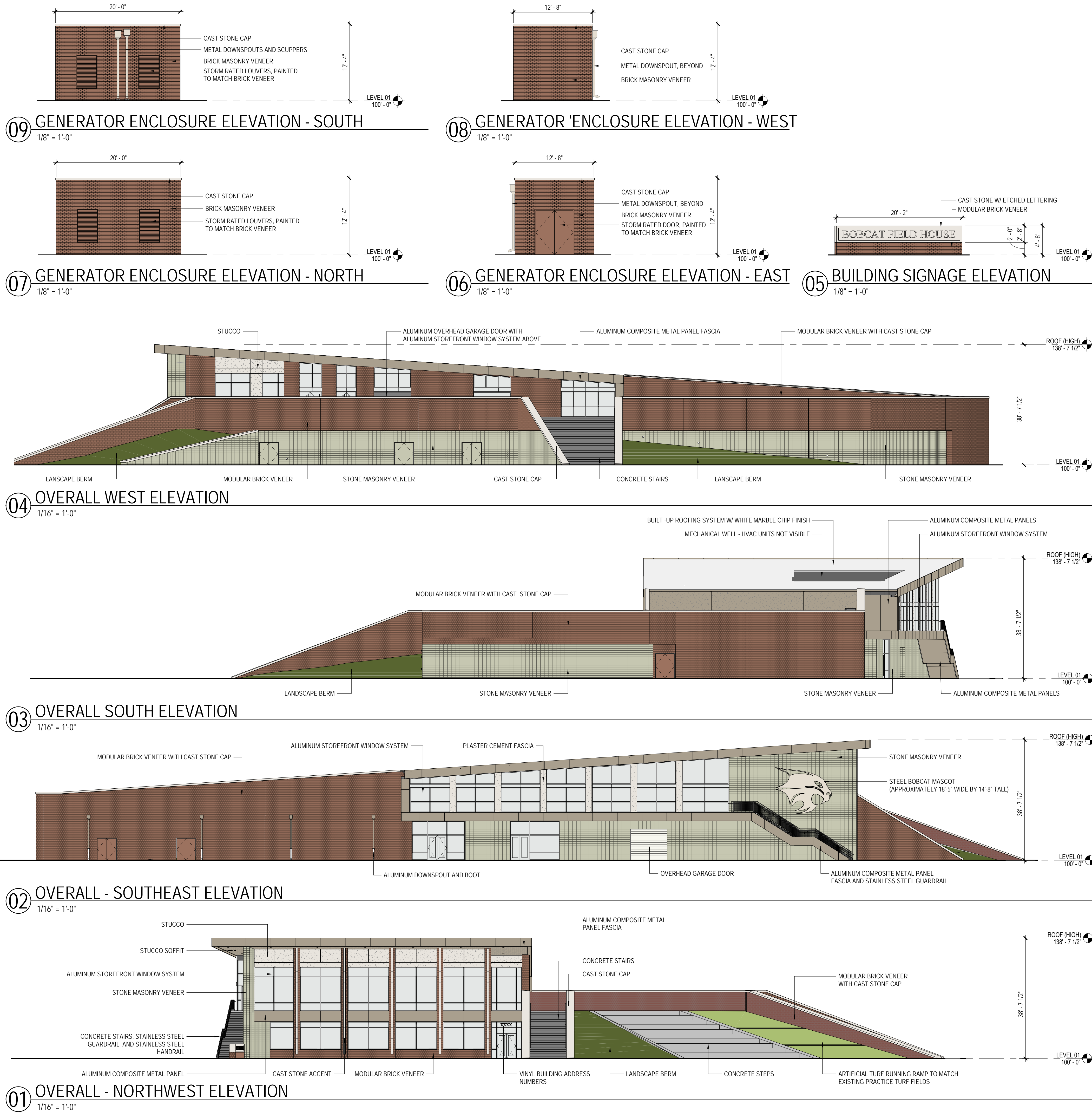
MARK	ISSUE	DATE
Job Number	143117.000	
Drawn	AFJ	
Checked	DH	
Approved	PG	

TITLE

OVERALL EXTERIOR
ELEVATIONS

SHEET NUMBER

A20-01



GENERAL RENDERING NOTE: RENDERINGS ARE FOR ILLUSTRATION PURPOSES ONLY. THE SURROUNDING SITE ELEMENTS DO NOT ACCURATELY REFLECT THE FINAL DESIGN.

PERKINS
+ WILL

2218 BRYAN STREET
SUITE 200
DALLAS, TEXAS 75201
1214.283.8700
www.perkinswill.com

glenn | partners

5646 MILTON STREET
SUITE 426
DALLAS, TEXAS 75201
1469.930.7655
www.glenn-partners.com

CONSULTANTS

- CIVIL
RLK ENGINEERING, INC.
111 WEST MAIN STREET
ALLEN, TEXAS 75013
- STRUCTURAL
L.A. FUESS PARTNERS, INC.
3333 LEE PARKWAY, SUITE 300
DALLAS, TEXAS 75219
- MEP
ESTES, MCCLURE & ASSOCIATES, INC.
3608 WEST WAY
TYLER, TEXAS 75703
- LANDSCAPING
SMR LANDSCAPE ARCHITECTS, INC.
1708 NORTH GRIFFIN STREET
DALLAS, TEXAS 75202
- TECHNOLOGY
MOYE CONSULTING
1255 CORPORATE DRIVE, SUITE 100
IRVING, TEXAS 75038
- FOOD SERVICE
JMK FOODSERVICE CONSULTING & DESIGN
3431 LAKEVIEW PARKWAY, SUITE 205
ROWLETT, TEXAS 75088
- GENERAL CONTRACTOR
NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
COPELL, TEXAS 75019

PROJECT



BYRON NELSON HIGH
SCHOOL ATHLETIC
FIELD HOUSE
2775 BOBCAT BOULEVARD
Trophy Club, Texas 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

MARK	ISSUE	DATE
Job Number	143117.000	
Drawn	JG	
Checked	DH	
Approved	PG	

TITLE

RENDERINGS

SHEET NUMBER

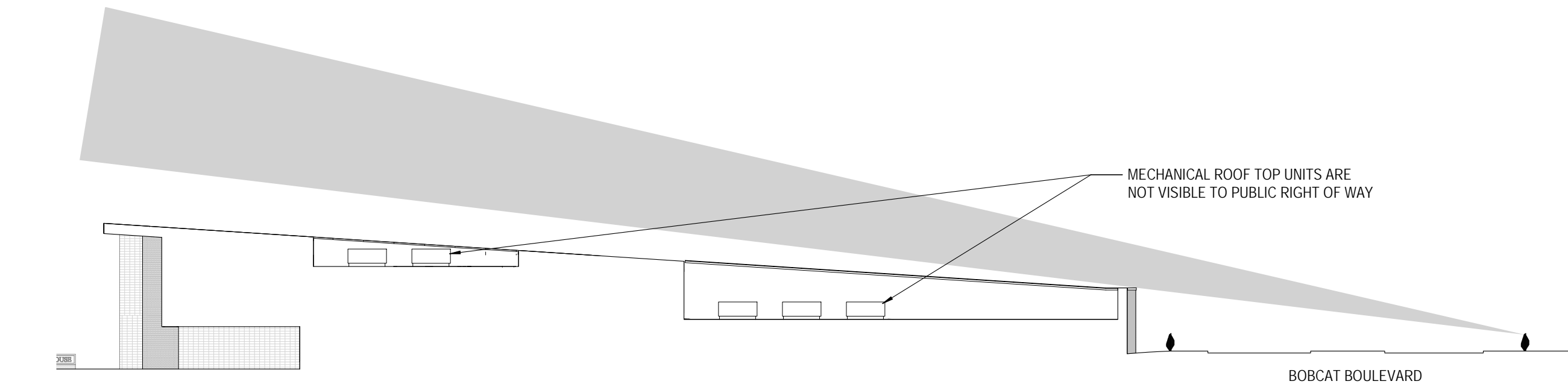
G00-02

Copyright © 2018 Perkins+Will

Meeting Date: Thursday, July 5, 2018



03 - OVERALL VIEW



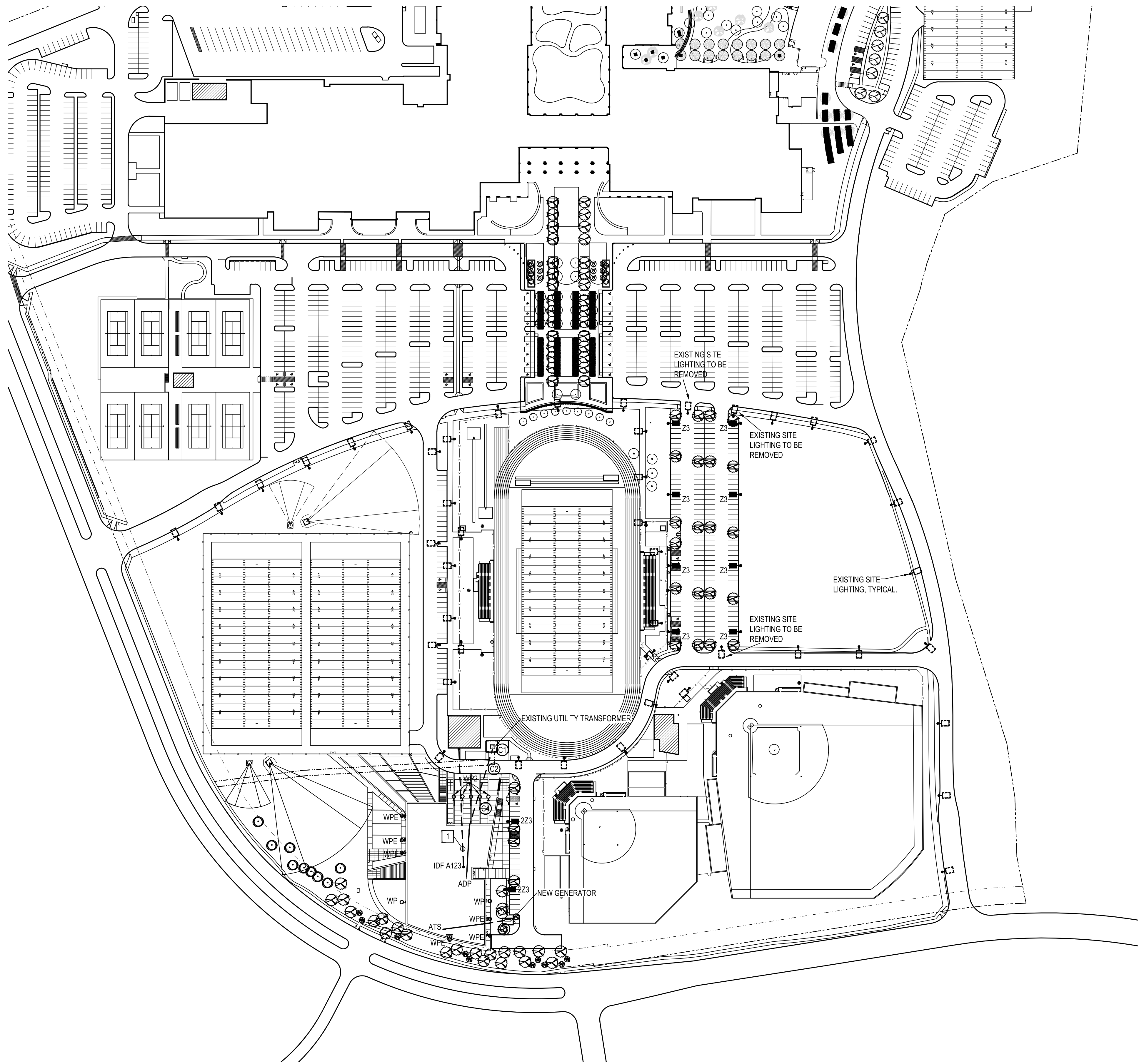
04 - SITE VISIBILITY SECTION



02 - ARRIVAL VIEW



01 - ENTRY PLAZA VIEW



A4 ELECTRICAL SITE PLAN
1"=100'-0"

LUMINAIRE SCHEDULE FOR Northwest ISD - Byron Nelson High School Phase 1 Site Package						EMA PROJECT #
						1 086 0884 001
All LED luminaires are to have lumen output and Max VA values per the below list with a tolerance per the specs. See specs for IECC and NFPA controls requirements.						
TYPE	DESCRIPTION	PART NUMBERS	LUMEN OUTPUT	DRIVERS	VOLTS	MAX VA
223	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH 12581 LAMPS. OPTIONS INCLUDE : , COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-P3-40K-T3S-MVOLT-SPA-DF-PIRH/SSS-30-5G-DM18AS POLE COLUMBIA EQUAL MCGRAW EDISON EQUAL PHILIPS EQUAL GE EQUAL	12581 LUMEN 4100K -INCLUDED	102W DRIVER -INCLUDED	480	102
WP	WALL MOUNTED ARCHITECTURAL LED WALL PACK WITH 447 LAMPS. OPTIONS INCLUDE : , COLOR: BY ARCHITECT	BEGA #22 375-K4 SPAULDING EQUAL DECO EQUAL GARDOL EQUAL GE EQUAL	447 LUMEN 4100K -INCLUDED	9W DRIVER -INCLUDED	MULTI	9
WP2	WALL MOUNTED ARCHITECTURAL LED WALL PACK WITH 1047 LAMPS. OPTIONS INCLUDE : , COLOR: BY ARCHITECT	BEGA #66 516-K4 SPAULDING EQUAL DECO EQUAL GARDOL EQUAL GE EQUAL	1047 LUMEN 4100K -INCLUDED	16W DRIVER -INCLUDED	MULTI	16
WPE	WALL MOUNTED EMERGENCY ARCHITECTURAL LED WALL PACK WITH 447 LAMPS. OPTIONS INCLUDE : , COLOR: BY ARCHITECT	BEGA #22 375-K4-EMERGENCY SPAULDING EQUAL DECO EQUAL GARDOL EQUAL GE EQUAL	447 LUMEN 4100K -INCLUDED	9W DRIVER -INCLUDED	MULTI	9
Z3	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH 12574 LAMPS. OPTIONS INCLUDE : , COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-P3-40K-TFTM-MVOLT-SPA-DF-PIRH/SSS-30-5G-DM18AS POLE COLUMBIA EQUAL MCGRAW EDISON EQUAL PHILIPS EQUAL GE EQUAL	12574 LUMEN 4100K -INCLUDED	102W DRIVER -INCLUDED	480	102
NO SUBSTITUTES TO ANY LISTED FIXTURE WILL BE ACCEPTED!						

QUANTITY - 2
MOUNTING HEIGHT - 30' - 0"
TO MATCH EXISTING

QUANTITY - 2
MOUNTING HEIGHT - 10' - 6"

QUANTITY - 5
MOUNTING HEIGHT - 10' - 6"

QUANTITY - 6
MOUNTING HEIGHT - 10' - 6"

QUANTITY - 8
MOUNTING HEIGHT - 30' - 0"
TO MATCH EXISTING

ELECTRICAL SITE GENERAL NOTES

(SOME NOTES MAY NOT BE USED)

- CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY LOCATION, CONDUCT TEST AND INSPECTIONS, COORDINATE WITH UTILITIES, OWNER'S REPRESENTATIVES, AND CHECK FOR ALL UNDERGROUND UTILITIES AND LINES BEFORE DITCHING TAKES PLACE. CONTRACTOR AND SUBCONTRACTORS PERFORMING THESE DUTIES SHALL BE RESPONSIBLE FOR ANY REPAIRS OF CUT OR DAMAGED LINES AND UTILITIES NOT SHOWN ON PLANS.
- PROVIDE SEPARATE CONTACTORS FOR INDEPENDENT CONTROL OF THE FOLLOWING:
 - WALL PACKS
 - SOFFIT LIGHTS
 - FLAG POLE LIGHTS
 - WALKWAY LIGHTS
 - PARKING LOT LIGHTS DESIGNATED AS SECURITY LIGHTS
 - EACH INDIVIDUAL PARKING LOT

ELECTRICAL SITE PLAN NOTES

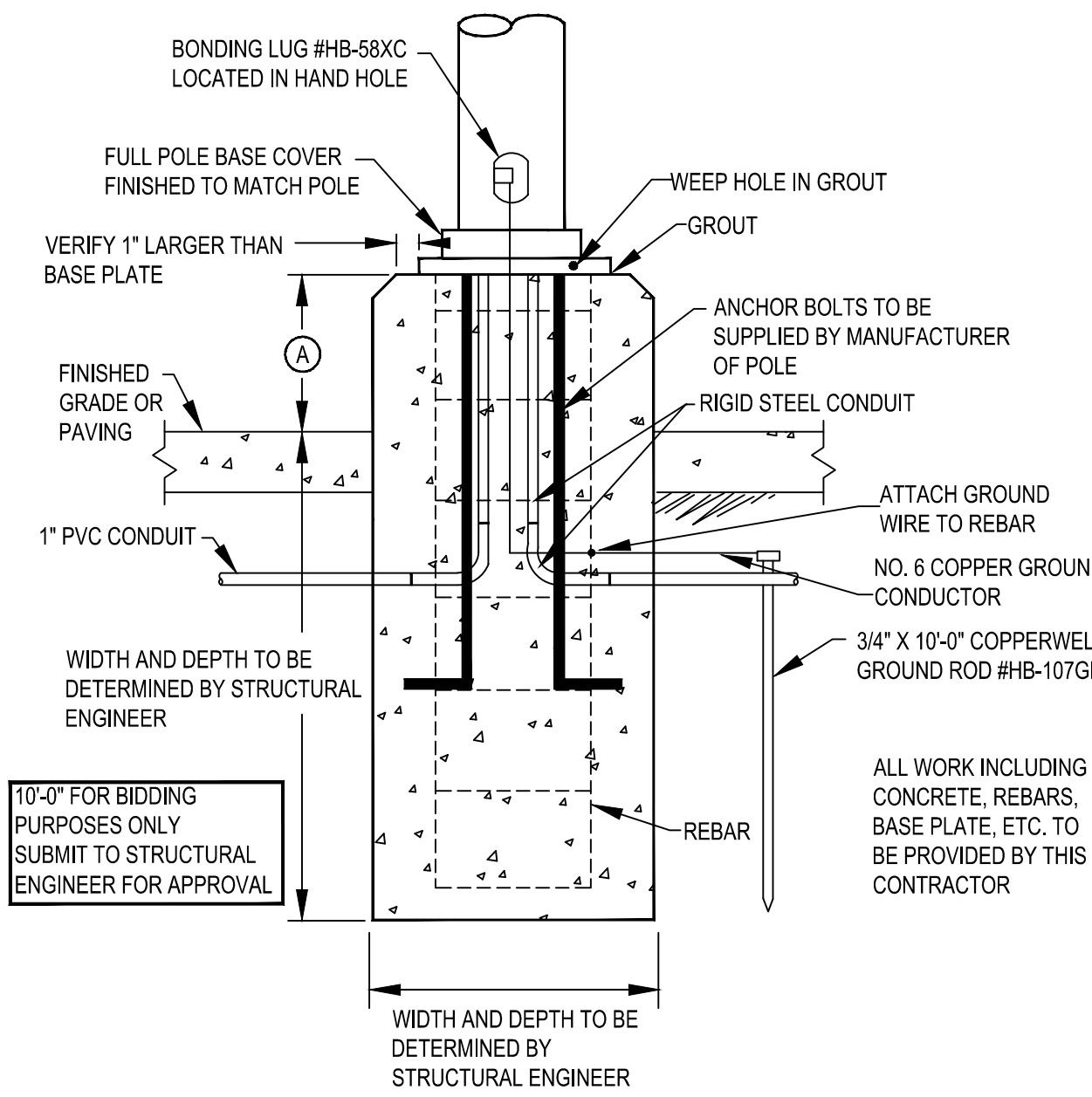
(SOME NOTES MAY NOT BE USED)

- EXISTING UTILITY TRANSFORMER TO BE REMOVED AND REPLACED. COORDINATE WITH UTILITY PROVIDER FOR MORE INFORMATION.
- PROVIDE AND ROUTE UNDERGROUND SERVICE CONDUCTORS FROM UTILITY TRANSFORMER LOAD SIDE TO PANEL ADP. REFER TO RISER DIAGRAM FOR MORE INFORMATION.
- PROVIDE AND ROUTE UNDERGROUND CONDUCTORS FROM GENERATOR TO ATS LOCATED IN SHELTER CONTROL ROOM A140. REFER TO RISER DIAGRAM FOR MORE INFORMATION.
- BORE UNDER OR SAW-CUT. PATCH TO MATCH EXISTING.

ELECTRICAL COMM SITE PLAN NOTES

- PROVIDE TWO 2" CONDUITS UNDERGROUND FROM IDF A123 TO EXISTING BUILDING AND STUB-UP AND EXTEND INTO ACCESSIBLE ATTIC SPACE FOR FIRE ALARM AND INTERCOM CABLING.

- A IF POLE IS LOCATED IN CONCRETE OR ASPHALT, DIMENSION TO BE 2'-6" A.F.G. IF POLE IS LOCATED IN GRASS, DIMENSION TO BE 4' A.F.G.



SUBMIT POLE BASE DRAWINGS TO STRUCTURAL ENGINEER FOR APPROVAL. COORDINATE EACH POLE WITH STREETS, CURBS AND SIDEWALKS SUCH THAT THE POLEBASE IS AT LEAST 12" AWAY.

- A1 POLE BASE DETAIL - 12'-30"
N.T.S.

NEW PARKING LOT LUMINAIRES ARE SIMILAR TO THE EXISTING LUMINAIRES.
NEW PARKING LOT POLES ARE DARK BRONZE LIKE THE EXISTING POLES.

PERKINS
+ WILL

2218 BRYAN STREET
SUITE 200
DALLAS, TEXAS 75201
1214.283.8700
www.perkinswill.com

CONSULTANTS

ASSOC. ARCHITECT

GLENN | PARTNERS
5646 MILTON STREET, SUITE 426
DALLAS, TEXAS 75206

CIVIL

RLK ENGINEERING, INC.
111 WEST MAIN STREET
ALLEN, TEXAS 75013

STRUCTURAL

L.A. FUOSS PARTNERS, INC.
3333 LEE PARKWAY, SUITE 300
DALLAS, TEXAS 75219

MEP

ESTES, MCCLURE & ASSOCIATES, INC.
3808 WEST WAY
TYLER, TEXAS 75703

LANDSCAPING

SMR LANDSCAPE ARCHITECTS, INC.
1708 NORTH GRIFFIN STREET
DALLAS, TEXAS 75202

TECHNOLOGY

MOYE CONSULTING
1255 CORPORATE DRIVE, SUITE 100
IRVING, TEXAS 75038

FOOD SERVICE

JMK FOODSERVICE CONSULTING & DESIGN
3431 LAKEVIEW PARKWAY, SUITE 205
ROWLETT, TEXAS 75088

GENERAL CONTRACTOR

NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
CORPELL, TEXAS 75019



PROJECT



BYRON NELSON HIGH
SCHOOL FIELD HOUSE
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

KEYPLAN

ISSUE CHART

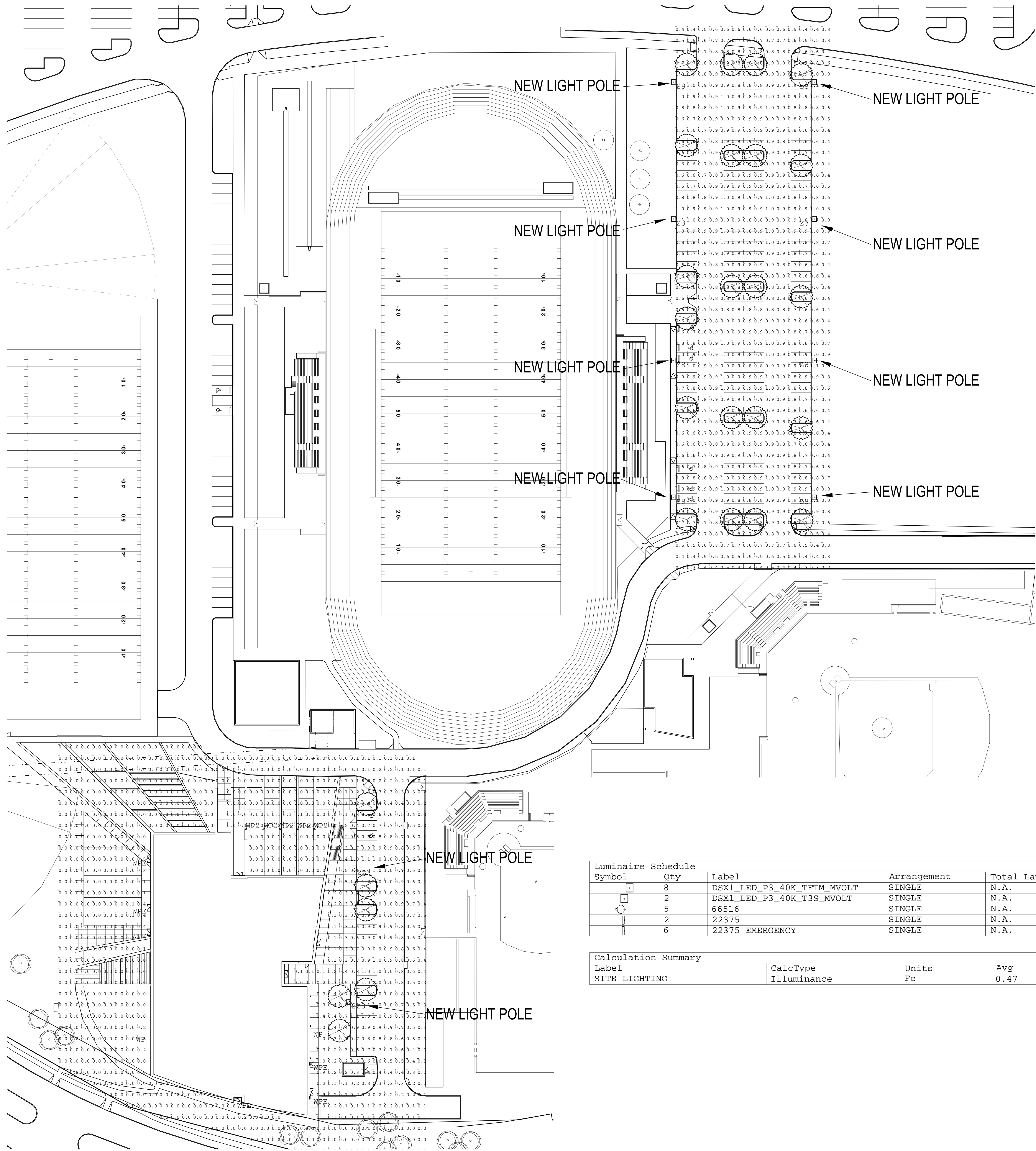
NO.	DESCRIPTION	DATE
Job Number	00000000	
Drawn	000	
Checked	00	
Approved	000000	

TITLE

ELECTRICAL SITE PLAN

SHEET NUMBER

ES11-01



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊞	8	DSX1_LED_P3_40K_TFTM_MVOLT	SINGLE	N.A.	0.700	DSX1_LED_P3_40K TFTM MVOLT
⊞	2	DSX1_LED_P3_40K_T3S_MVOLT	SINGLE	N.A.	0.700	DSX1_LED_P3_40K T3S MVOLT
⊙	5	66516	SINGLE	N.A.	0.700	66 516
⊞	2	22375	SINGLE	N.A.	0.700	
⊞	6	22375 EMERGENCY	SINGLE	N.A.	0.700	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE LIGHTING	Illuminance	Fc	0.47	1.2	0.0	N.A.	N.A.

EMA Engineering and Consulting
Tyler • Austin • Houston
Phone: 1-800-933-0538
TBPE Firm Registration No. F-893
www.estesmcclure.com

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

**PERKINS
+ WILL**

2218 BRYAN STREET
SUITE 200
DALLAS, TEXAS 75201
1214.283.8700
1214.283.8701
www.perkinswill.com

CONSULTANTS

ASSOC. ARCHITECT

GLENN | PARTNERS
5646 MILTON STREET, SUITE 426
DALLAS, TEXAS 75206
CIVIL

RLK ENGINEERING, INC.
111 WEST MAIN STREET
ALLEN, TEXAS 75013
STRUCTURAL

L.A. FUESS PARTNERS, INC.
3333 LEE PARKWAY, SUITE 300
DALLAS, TEXAS 75219
MEP

ESTES, MCCLURE & ASSOCIATES, INC.
3608 WEST WAY
TYLER, TEXAS 75703
LANDSCAPING

SMR LANDSCAPE ARCHITECTS, INC.
1708 NORTH GRIFFIN STREET
DALLAS, TEXAS 75202
TECHNOLOGY

MOYE CONSULTING
1255 CORPORATE DRIVE, SUITE 100
IRVING, TEXAS 75038
FOOD SERVICE

JMK FOODSERVICE CONSULTING & DESIGN
3431 LAKEVIEW PARKWAY, SUITE 205
ROWLETT, TEXAS 75088
GENERAL CONTRACTOR

NORTHSTAR BUILDERS GROUP
270 NORTH DENTON TAP ROAD, SUITE 250
CORPELL, TEXAS 75019



PROJECT



**BYRON NELSON HIGH
SCHOOL FIELD HOUSE**
2775 BOBCAT BOULEVARD
TROPHY CLUB, TEXAS 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

KEYPLAN

ISSUE CHART

NO.	DESCRIPTION	DATE
Job Number	00000000	
Drawn	000	
Checked	00	
Approved	00000000	

TITLE

**LIGHTING
PHOTOMETRIC
SITE PLAN**

SHEET NUMBER

ES11-02

Legislation Details (With Text)

File #: 2018-320-T **Version:** 1 **Name:**
Type: Agenda Item **Status:** Regular Session
File created: 6/29/2018 **In control:** Planning & Zoning Commission
On agenda: 7/5/2018 **Final action:**
Title: Case TUP-18-008 (BNHS Construction Trailer)
Attachments: [PZ Report 7.5.18.pdf](#)
[Exhibit A - Site Layout.pdf](#)
[Exhibit B - Construction Trailer.pdf](#)
[Exhibit C - Construction Fencing.pdf](#)
[Exhibit D - Storage Box.pdf](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Case TUP-18-008 (BNHS Construction Trailer)

Discussion and recommendation regarding a Resolution approving a request for a Temporary Use Permit to allow a construction trailer at Byron Nelson High School, generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.



1 Trophy Wood Drive, Trophy Club, TX 76262 | 682.237.2900 | info@trophyclub.org | trophyclub.org

To: Planning & Zoning Commission

From: Lisa Payne, Town Planner

CC: Thomas M. Class Sr., Town Manager
Holly Fimbres, Town Secretary/RMO

Re: Case TUP-18-008
Planning & Zoning Commission Meeting, July 5, 2018

Agenda Item:

Case TUP-18-008 (BNHS Construction Trailer)

Discussion and recommendation regarding a request for a Temporary Use Permit to allow a construction trailer at Byron Nelson High School, generally located northeast of the intersection of Bobcat Boulevard and Marshall Creek Road, within Trophy Club's town limits.

Background and Explanation:

The applicant, Northstar Builders, is requesting approval of a Temporary Use Permit to allow a construction trailer and temporary fencing to locate at Byron Nelson High School (BNHS) while the two phases of construction are ongoing.

A construction trailer is requested to help facilitate the construction of Phase 1 – a proposed field house that will double as a storm shelter, plus a new parking lot, and Phase 2 – a proposed addition to the high school's primary building, and the extension of Phase 1's parking lot, which will sit upon a baseball field that is no longer being used. Northwest ISD is currently seeking approval for Phase 1 and will submit a request for Phase 2 soon. Construction of the field house, which will sit upon a softball field that is no longer being used, is expected to commence in September 2018 and be complete in approximately September 2019. Construction of the high school's large building addition is expected to commence in January 2019 and be complete in approximately December 2020, meaning there will be an overlap of construction projects for most of 2019 and an increased need for a construction trailer.

According to Sec. 14.02.251 of the Code of Ordinances, construction offices that are used temporarily by contractors during the construction of a building must obtain a Temporary Use Permit (TUP) through approval from Town Council, after recommendation by the Planning & Zoning Commission. In addition, the allowed time period may tie into the schedule of construction, with annual renewal through this same process, if necessary.

The sixty foot (60') x twenty-four foot (24') trailer will be placed on the location that's slated for parking as a part of Phase 1 and Phase 2, and fencing will surround the entire area. The fencing will also surround the construction area of the field house, including a meandering sidewalk and concrete pad behind the bleachers of the remaining baseball field. The fence is proposed to be six feet (6') tall and chain link covered by a black wind screen. Northstar Builders plans to attach the wind screen on the outside of the fence so it's screening not only the construction equipment, but also the chain link. However, as a safety measure, it is possible that the wind screen will need to be attached on the inside of the fence for a portion or all of construction if the screen is blown off the fence and into a vehicular access way.

To enable a smooth construction timeline, eight foot (8') tall by forty foot (40') long storage boxes are planned to locate inside the construction fencing, near the construction trailer. These boxes will vary in color since they are rented, and they will provide easily accessible storage to the contractor. In addition, temporary toilets will be located near each phase of construction, inside the temporary construction fencing.

Staff Recommendation:

The presence of a temporary trailer and fencing is typical and necessary on construction sites. Staff recommends approval.

Attachments:

- Exhibit A – Site Layout
- Exhibit B – Construction Trailer
- Exhibit C – Construction Fencing
- Exhibit D – Storage Box

NOTE: DOCUMENTS ARE
INCOMPLETE AND MAY NOT BE
USED FOR REGULATORY
APPROVAL, PERMITTING, OR
CONSTRUCTION PURPOSES

PROJECT



BYRON NELSON HIGH
SCHOOL ADDITION
AND RENOVATION
2775 BOBCAT BOULEVARD
Trophy Club, Texas 76262

NORTHWEST ISD
2001 TEXAN DRIVE
JUSTIN, TEXAS 76247

KEYPLAN

ISSUE CHART

DATE	ISSUE	BY
Job Number	143117.000	Author
Drawn		Author
Checked		Checker
Approved		Approver
TITLE		

ARCHITECTURAL SITE
PLAN - PHASE 01

SHEET NUMBER

A01-11

Meeting Date: Thursday, July 5, 2018

ARCHITECTURAL SITE
GENERAL NOTES

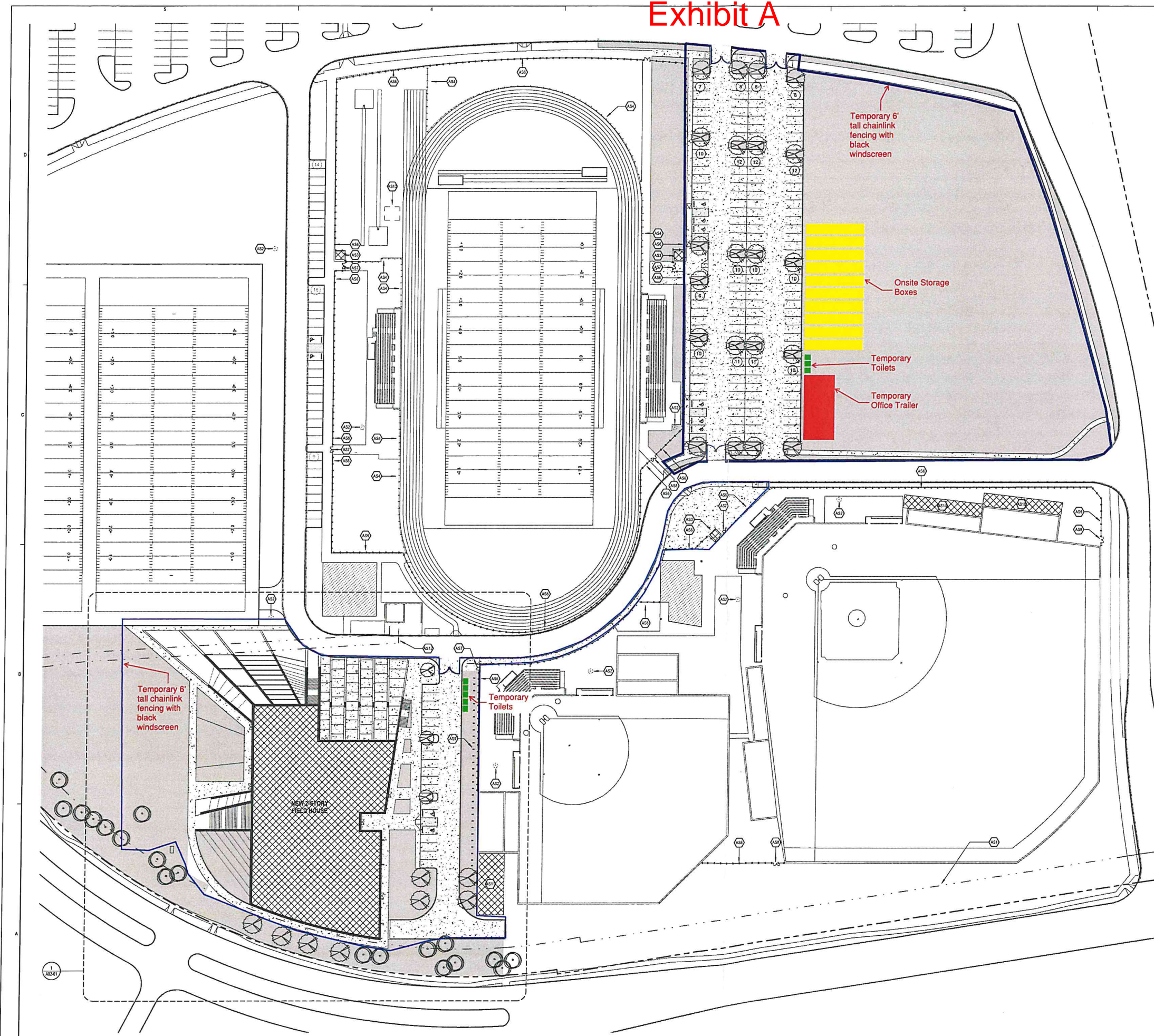
1. ARCHITECTURAL SITE PLAN IS ISSUED FOR REFERENCE ONLY.
2. RE: CIVIL DRAWINGS FOR ALL SITE CONSTRUCTION INFORMATION INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - SITE GEOMETRY AND DIMENSIONAL CONTROL
 - SITE UTILITIES
 - SITE GRADING AND DRAINAGE
 - ASPHALT/CONCRETE PAVING DETAILS
 - PAVING MARKERS
 - CONCRETE SIDEWALK, CURB, AND GUTTER DETAILS
 - PARKING BUMPERS
 - TRAFFIC SIGNAGE
 - PAVING STRIPING AND CURB MARKINGS
 - TYPICAL HANDICAP SIGNAGE/SPACES
3. RE: ELECTRICAL DRAWINGS FOR SITE INFORMATION INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - SITE LIGHT STANDARD LOCATIONS AND SIZES
 - ELECTRICAL SLEEVING LOCATIONS AND SIZES
 - TELEPHONE AND CABLE TV, PULL BOX LOCATIONS
 - ELECTRICAL MANHOLE LOCATIONS AND DETAILS
 - PULL BOX LOCATIONS AND SIZES FOR VARIOUS SITE LIGHTING ELEMENTS
 - EXTERIOR BUILDING ILLUMINATION AND UTILITY COORDINATION
4. REFERENCE LANDSCAPE DRAWINGS FOR:
 - LANDSCAPE PLANTING AND DETAILS
 - SOODING AND SEEDING
 - LANDSCAPE BED DRAINAGE
 - HARDSCAPE LAYOUT AND DETAILS (SPECIALTY PAVING)
5. REFERENCE IRRIGATION IN LANDSCAPE DRAWINGS FOR:
 - HEAD AND VALVE LOCATIONS AND SIZES
 - IRRIGATION SLEEVING LOCATIONS AND SIZES
 - IRRIGATION SYSTEM CONTROLLER LOCATION
 - DETAILS AND SPECIFICATIONS
6. THE CONTRACTOR SHALL MAINTAIN EXISTING ACCESS TO ALL EMERGENCY ENTRANCES AND SHALL NOT BLOCK ACCESS TO DRIVES AND COVERED DROP OFF AREAS.
7. CONTRACTOR SHALL INFORM THE OWNER PRIOR TO ANY SITE DEMOLITION AND SHALL SCHEDULE SUCH DEMOLITION AS NOT TO INTERFERE WITH THE OWNER'S OPERATIONS.

ARCHITECTURAL SITE
PLAN LEGEND

- EXISTING BUILDING FOOTPRINT
- NEW BUILDING FOOTPRINT
- NEW CONCRETE SIDEWALK OR PAVING
REF: CIVIL
- NEWLY SOD AREA
REF: LANDSCAPE
- NEWLY GROUND COVER OR LANDSCAPE AREA
REF: LANDSCAPE
- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- PROPERTY LINE
- EASEMENT, BUILDING SETBACK AND/OR R.O.W.
- FIRE LANE
- REQUIRED ACCESSIBLE PATH
- PARKING SPACE COUNT
- EXISTING TREE TO REMAIN, REF: LANDSCAPE
- NEW PROPOSED TREE, REF: LANDSCAPE

NOTES BY NUMBER

- ◊ <<< Indicates Sheet Keynote on Plan
- AS1 30'-0" BUILDING SETBACK LINE
 - AS2 DOMESTIC WATER CONNECTION, REF: CIVIL
 - AS3 STAND-ALONE TICKET BOOTH BY B.I.G. ENTERPRISES, REF: SPECS.
 - AS4 EXISTING 4'-0" FENCE TO REMAIN
 - AS6 NEW 6'-0" TALL POWDER-COATED CHAIN LINK FENCE, REF: SPECS
 - AS7 NEW 6'-0" TALL, 6'-0" WIDE WROUGHT IRON PEDESTRIAN GATE, REF: SPECS
 - AS8 NEW 6'-0" TALL, 10'-0" WIDE SWINGING POWDER-COATED CHAIN LINK VEHICLE GATE, REF: SPECS
 - AS9 NEW FOUL BALL SAFETY FENCING
 - AS10 NEW SINGLE BAY BAITING CAGE ENCLOSURE, REF: SPECS
 - AS11 NEW DOUBLE-BAY BAITING CAGE ENCLOSURE, REF: SPECS
 - AS12 10'-0" ELECTRICAL EASEMENT
 - AS13 PROVIDE HIGH JUMP PAD STORAGE ENCLOSURE



ENLARGED SITE PLAN - PHASE 01



60' x 24' SECTION MODULAR

Dimensions

- 60' Long (including hitch)
- 56' Box size
- 24' Wide
- 8' Ceiling height
- Other double-wide sizes are available

Exterior Finish

- Aluminum or wood siding
- I-Beam frame
- Standard drip rail gutters

Interior Finish

- Paneled walls
- Vinyl tile floors
- Gypsum ceiling
- Private offices

Electric

- Fluorescent ceiling lights
- Single phase electric and breaker panel

Heating/Cooling

- Central HVAC

Windows/Doors

- Horizontal slider windows
- (2) Vision panel doors with standard locks or (2) steel doors with dead bolt lock

Other

- Optional restroom

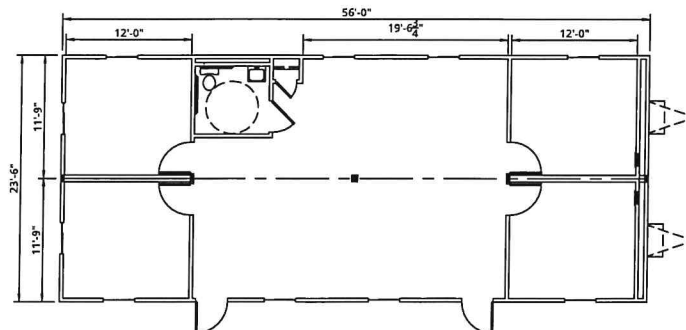


In addition to your office solution, we can provide additional products and services that complete your space- creating a more productive, comfortable, and safe work environment.

CHOOSE FROM A VARIETY OF OPTIONS

- Steps + Ramps
- Furniture + Appliances
- Technology
- Site Services
- Loss Protection

PRODUCT FLOOR PLAN



** Photos are representational; actual products vary. Additional floor plans and specifications may vary from those shown and are subject to in-stock availability*

BNHS Site Security Fencing:

6' tall chain link fencing

Black Wind Screen

-Depending on location of the fencing will determine if the wind screen is on the inside or outside of the fencing. If there is a chance the wind screen can come off in a storm and blow into the roadway we will put it on the inside. Otherwise we typically install it on the outside.



Exhibit D

Thursday, July 5, 2018



8' tall x 40' long
colors may vary

Legislation Details (With Text)

File #: 2018-321-T **Version:** 1 **Name:**
Type: Agenda Item **Status:** Regular Session
File created: 6/29/2018 **In control:** Planning & Zoning Commission
On agenda: 7/5/2018 **Final action:**
Title: Review and approve the minutes of the June 7, 2018 Planning & Zoning Commission Meeting.
Attachments: [PZ Minutes 06.07.2018.pdf](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Review and approve the minutes of the June 7, 2018 Planning & Zoning Commission Meeting.



Town of Trophy Club

1 Trophy Wood Drive
Trophy Club, Texas 76262

Meeting Minutes Planning & Zoning Commission

June 7, 2018

7:00 p.m.

Council Chambers

CALL TO ORDER AND ANNOUNCE A QUORUM

Chairman Sheridan called the June 7, 2018 Planning & Zoning Commission to order at 7:00 p.m. and announced a quorum present (6 members).

Commissioners Present:

Chairman Dennis Sheridan
Vice Chairman Michael Pipkins
Commissioner Jeffrey Beach
Commissioner Brandon Blake
Commissioner Jacob Gibson
Commissioner Michael Biggs

Commissioners Absent:

Commissioner Michael Branum (excused)

Staff and Guests Present:

Nick Sanders	Mayor
Greg Lamont	Town Council
Thomas Class	Town Manager
Lisa Payne	Town Planner
Julie Smestad	Recording Secretary

CITIZEN PRESENTATIONS

Citizens are allowed four (4) minutes to address the Commission regarding an item over which the Commission has policy or oversight authority as provided by Texas law, the ethics order, or other policy order.

Chairman Sheridan asked if there were any public requests to speak. No public requests were submitted.

2018-255-T Case Z-18-001 (Unzoned Parcels)

- a. Conduct a Public Hearing regarding a Town-initiated request to zone approximately 2.15 acres of land to R-8 Single Family District, generally located northeast of SH 114 and 114 Business; to zone approximately 12.81 acres of land to GU Government Use District, generally located south of Indian Creek Drive and approximately 125 feet west of W. Hillside Place; and to zone approximately 0.50 acres of land to R-10 Single Family District, generally located south of Indian Creek Drive and approximately 30 feet east of Troon Drive, within Trophy Club's town limits.
- b. Discussion and recommendation regarding a Town-initiated request to zone approximately 2.15 acres of land to R-8 Single Family District, generally located northeast of SH 114 and

114 Business; to zone approximately 12.81 acres of land to GU Government Use District, generally located south of Indian Creek Drive and approximately 125 feet west of W. Hillside Place; and to zone approximately 0.50 acres of land to R-10 Single Family District, generally located south of Indian Creek Drive and approximately 30 feet east of Troon Drive, within Trophy Club's town limits.

PUBLIC HEARING - OPENED AT 7:02 p.m.

Chairman Sheridan asked for the staff report, which was presented by Lisa Payne, Town Planner.

Chairman Sheridan asked about any public speakers.

Roland Desjardins, 850 E. State Hwy. 114, Southlake, TX spoke during the public hearing and asked questions about the GU designation for the 12.81 acres of land.

PUBLIC HEARING – CLOSED AT 7:15 p.m.

REGULAR SESSION - OPENED AT 7:15 p.m.

Chairman Sheridan asked for comments. Topics included the preservation of Harmony Park and the possibility of the Church of Christ using the irregular shaped half-acre property.

Chairman Sheridan asked for a motion. Commissioner Beach moved to accept staff recommendations and recommend approval to Town Council. Commissioner Biggs seconded the motion.

Chairman Sheridan asked for a vote.

The motion was carried unanimously.

2018-103-T Review and approve the minutes of the March 1, 2018 Planning & Zoning Commission Meeting.

Chairman Sheridan asked for questions or corrections from Commissioners. There were none.

Commissioner Gibson moved to approve the March 1, 2018 minutes as written, which was seconded by Commissioner Blake.

Chairman Sheridan asked for a vote.

The motion carried unanimously.

2018-257-T Town Planner Updates; update on previous cases heard by the Commission; Discussion on current Town development issues and development codes.

Staff updates were given by Lisa Payne, Town Planner.

ADJOURN

Commissioner Beach moved to adjourn, and was seconded by Commissioner Biggs.

Chairman Sheridan asked for a vote.

The motion carried unanimously.

The meeting was adjourned at 7:39 p.m.

Dennis Sheridan, Chairman
Planning & Zoning Commission
Town of Trophy Club, Texas

Julie Smestad, Recording Secretary
Community Development
Town of Trophy Club, Texas

Legislation Details (With Text)

File #: 2018-294-T **Version:** 1 **Name:**
Type: Agenda Item **Status:** Regular Session
File created: 6/15/2018 **In control:** Building Standards Commission
On agenda: 6/19/2018 **Final action:**
Title: Town Planner Updates; discussion on current Town development issues and development codes.
Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Town Planner Updates; discussion on current Town development issues and development codes.